

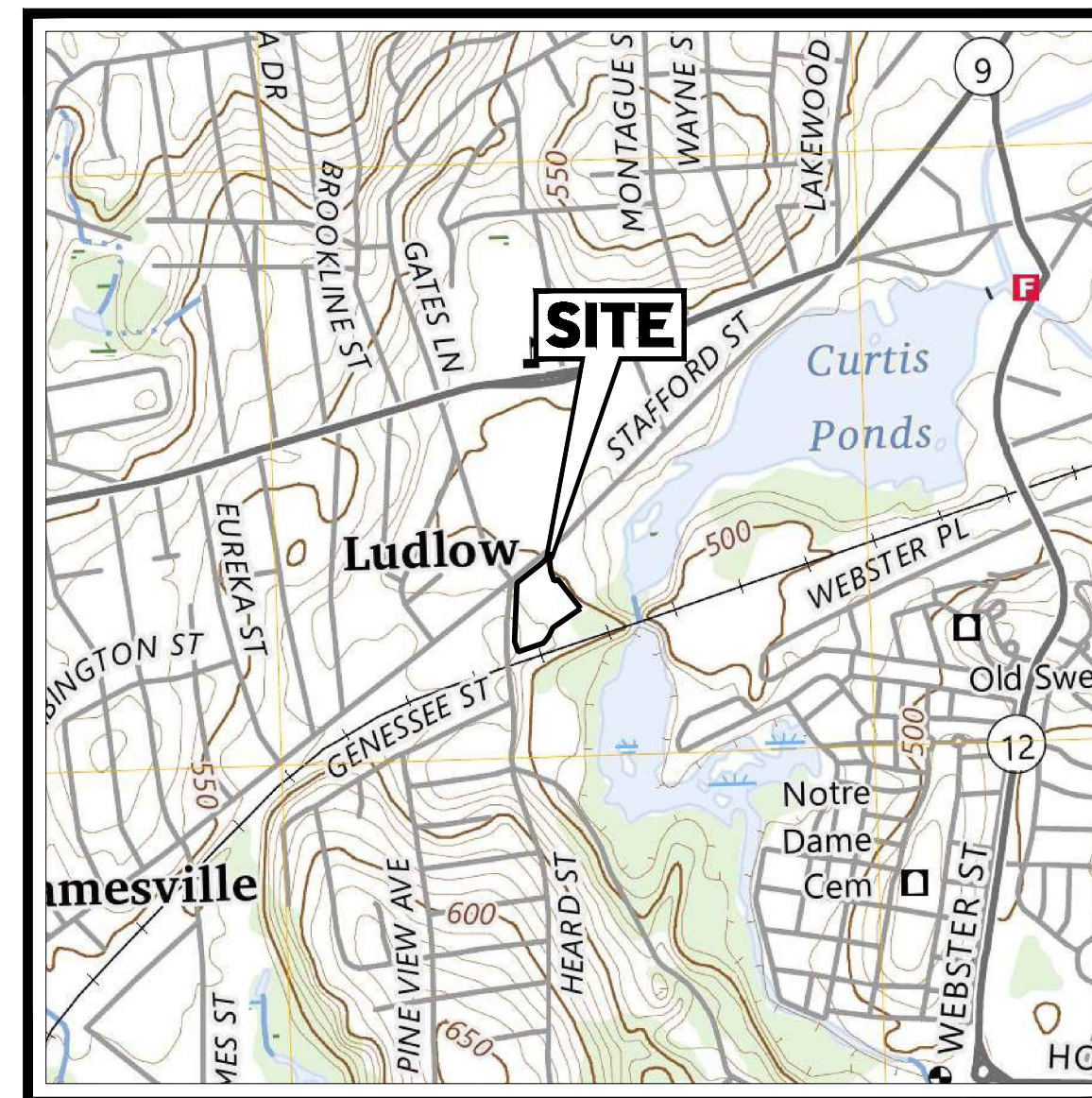
# PROPOSED SITE PLAN DOCUMENTS

FOR



## PROPOSED RESTAURANT W/ DRIVE-THRU

LOCATION OF SITE  
99 STAFFORD STREET, CITY OF WORCESTER  
WORCESTER COUNTY, MASSACHUSETTS  
MAP 15, BLOCK 29, LOT 1



**LOCATION MAP**

SCALE: 1"=1,000'  
SOURCE: USGS

**OWNER**  
STAFFORD STREET WORCESTER, LLC  
PO BOX 117, POUND RIDGE, NY 10576  
C/O STEVEN INSOTT  
(312) 810-0153

**DEVELOPER**  
CHICK-FIL-A, INC.  
5200 BUFFINGTON ROAD  
ATLANTA, GEORGIA 30349  
C/O ZACH MIDDLEBROOKS  
(404) 456-2446

PREPARED BY



CONTACT: JOEY FONSECA

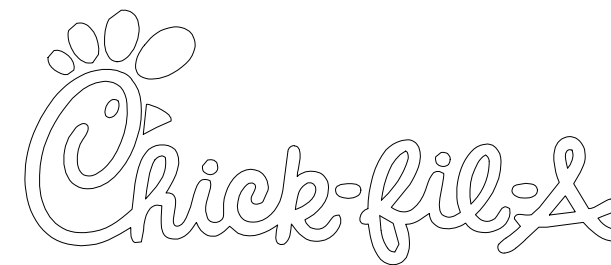
### REFERENCES AND CONTACTS

- REFERENCES**
- ALTA/NSPS LAND TITLE SURVEY:  
CONTROL POINT ASSOCIATES, INC.  
352 TURNPIKE RD., THIRD FLOOR  
SOUTHBOROUGH, MA 01772  
DATED: 06/06/24 (REV. 0)  
JOB # 03-240182-00  
ELEVATIONS NAVD 1988  
(KEYSTONE VRS NETWORK)
  - GEOTECHNICAL INVESTIGATION REPORT:  
WHITESTONE ASSOCIATES, INC.  
35 TECHNOLOGY DRIVE  
WARREN, NJ 07059
  - ARCHITECTURAL PLAN:  
KRAMER & SEINFELD  
1 PENN PLAZA  
NEW YORK, NY 11111

\* THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS. HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

### SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-000
GENERAL NOTES AND LEGEND	C-001
DEMOLITION PLAN	C-100
SITE PLAN	C-200
GRADING AND DRAINAGE PLAN	C-300
EROSION AND SEDIMENT CONTROL PLAN	C-303
EROSION AND SEDIMENT CONTROL DETAILS	C-304
PLUMBING SITE PLAN	PS-100
LANDSCAPE PLAN	L-100
LANDSCAPE NOTES AND DETAILS	L-101
LIGHTING PLAN	T-100
LIGHTING NOTES AND DETAILS	T-101
CFA STANDARD DETAILS	C-400 - C-403
CONSTRUCTION DETAILS	C-500 - C-501
ALTA/NSPS LAND TITLE SURVEY (BY OTHERS)	1 SHEET
TOTAL SHEETS	19



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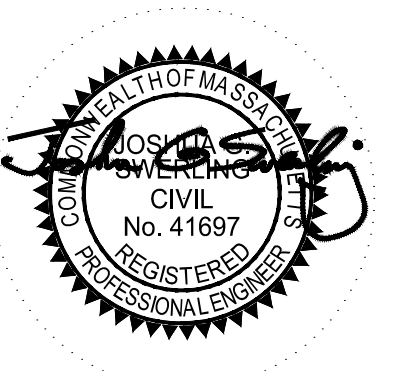
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99 STAFFORD STREET  
WORCESTER, MA

**FSR#05916**

BUILDING TYPE / SIZE: P14-LS-BN  
RELEASE:

**REVISION SCHEDULE**

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # MAA240159.00

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DATE 10/03/2024

DRAWN BY AEH

CHECKED BY JNF

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SHEET COVER SHEET

SHEET NUMBER

**C-000**

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GENERAL NOTE:  
IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT WORK SCOPE PRIOR TO THE INITIATION OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT WITH THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES, IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION. FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN ALL CONNECTIONS WITH LOCAL, STATE AND FEDERAL AGENCIES.



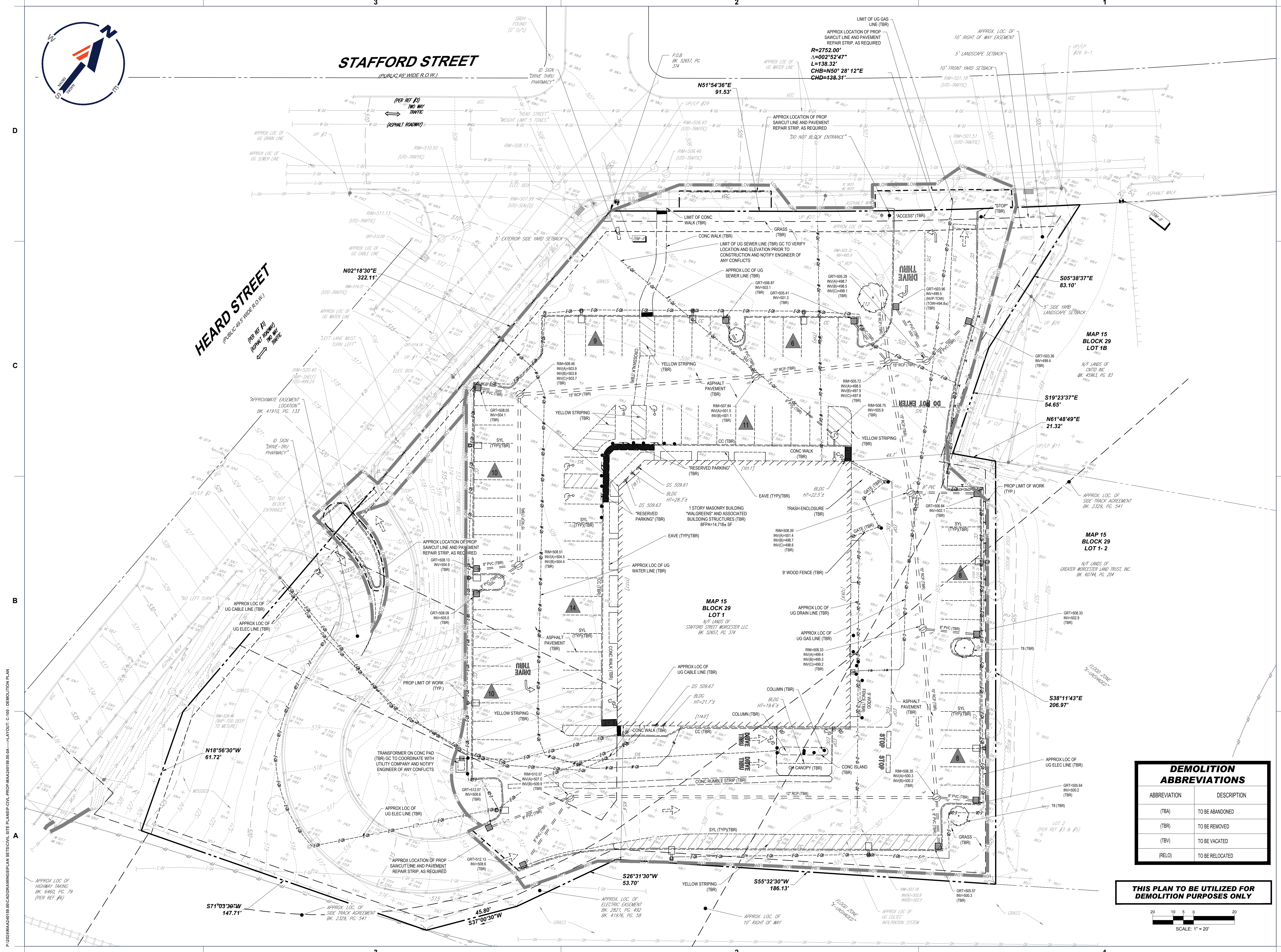


# STAFFORD STREET

(PUBLIC 65' WIDE R.O.W.)

# HEARD STREET

(PUBLIC 48.5' WIDE R.O.W.)



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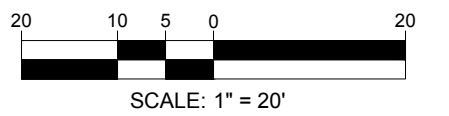
99 STAFFORD STREET  
WORCESTER, MA

## FSR#05916

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REVISION SCHEDULE  
NO. DATE DESCRIPTION

DEMOLITION ABBREVIATIONS	
ABBREVIATION	DESCRIPTION
(TBA)	TO BE ABANDONED
(TBR)	TO BE REMOVED
(TBU)	TO BE VACATED
(RELO)	TO BE RELOCATED

**THIS PLAN TO BE UTILIZED FOR DEMOLITION PURPOSES ONLY**



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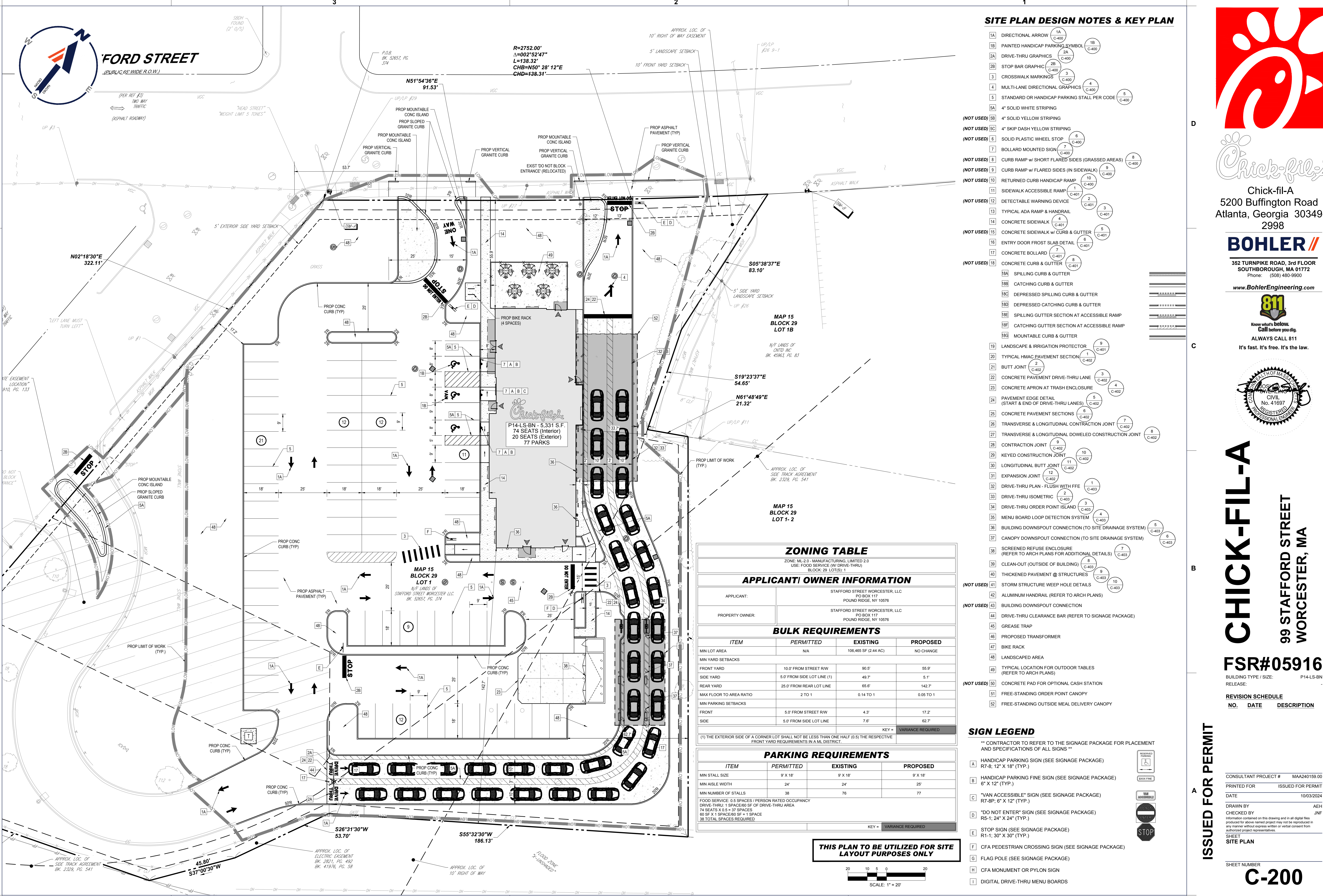
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SHEET DEMOLITION PLAN

SHEET NUMBER  
**C-100**

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**FORD STREET**  
(PUBLIC 65' WIDE R.O.W.)



**SITE PLAN DESIGN NOTES & KEY PLAN**

- 1A DIRECTIONAL ARROW
- 1B PAINTED HANDICAP PARKING SYMBOL
- 2A DRIVE-THRU GRAPHICS
- 2B STOP BAR GRAPHIC
- 3 CROSSWALK MARKINGS
- 4 MULTI-LANE DIRECTIONAL GRAPHICS
- 5 STANDARD OR HANDICAP PARKING STALL PER CODE
- 5A 4" SOLID WHITE STRIPING
- 5B 4" SOLID YELLOW STRIPING
- 5C 4" SKIP DASH YELLOW STRIPING
- 6 SOLID PLASTIC WHEEL STOP
- 7 BOLLARD MOUNTED SIGN
- 8 CURB RAMP W/ SHORT FLARED SIDES (GRASSED AREAS)
- 9 CURB RAMP W/ FLARED SIDES (IN SIDEWALK)
- 10 RETURNED CURB HANDICAP RAMP
- 11 SIDEWALK ACCESSIBLE RAMP
- 12 DETECTABLE WARNING DEVICE
- 13 TYPICAL ADA RAMP & HANDRAIL
- 14 CONCRETE SIDEWALK
- 15 CONCRETE SIDEWALK W/ CURB & GUTTER
- 16 ENTRY DOOR FROST SLAB DETAIL
- 17 CONCRETE BOLLARD
- 18 CONCRETE CURB & GUTTER
- 18A SPILLING CURB & GUTTER
- 18B CATCHING CURB & GUTTER
- 18C DEPRESSED SPILLING CURB & GUTTER
- 18D DEPRESSED CATCHING CURB & GUTTER
- 18E SPILLING GUTTER SECTION AT ACCESSIBLE RAMP
- 18F CATCHING GUTTER SECTION AT ACCESSIBLE RAMP
- 18G MOUNTABLE CURB & GUTTER
- 19 LANDSCAPE & IRRIGATION PROTECTOR
- 20 TYPICAL HMAC PAVEMENT SECTION
- 21 BUTT JOINT
- 22 CONCRETE PAVEMENT DRIVE-THRU LANE
- 23 CONCRETE APRON AT TRASH ENCLOSURE
- 24 PAVEMENT EDGE DETAIL (START & END OF DRIVE-THRU LANES)
- 25 CONCRETE PAVEMENT SECTIONS
- 26 TRANSVERSE & LONGITUDINAL CONTRACTION JOINT
- 27 TRANSVERSE & LONGITUDINAL DOWELED CONSTRUCTION JOINT
- 28 CONTRACTION JOINT
- 29 KEYED CONSTRUCTION JOINT
- 30 LONGITUDINAL BUTT JOINT
- 31 EXPANSION JOINT
- 32 DRIVE-THRU PLAN - FLUSH WITH FFE
- 33 DRIVE-THRU ISOMETRIC
- 34 DRIVE-THRU ORDER POINT ISLAND
- 35 MENU BOARD LOOP DETECTION SYSTEM
- 36 BUILDING DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM)
- 37 CANOPY DOWNSPOUT CONNECTION (TO SITE DRAINAGE SYSTEM)
- 38 SCREENED REFUSE ENCLOSURE (REFER TO ARCH PLANS FOR ADDITIONAL DETAILS)
- 39 CLEAN-OUT (OUTSIDE OF BUILDING)
- 40 THICKENED PAVEMENT @ STRUCTURES
- 41 STORM STRUCTURE WEEP HOLE DETAILS
- 42 ALUMINUM HANDRAIL (REFER TO ARCH PLANS)
- 43 BUILDING DOWNSPOUT CONNECTION
- 44 DRIVE-THRU CLEARANCE BAR (REFER TO SIGNAGE PACKAGE)
- 45 GREASE TRAP
- 46 PROPOSED TRANSFORMER
- 47 BIKE RACK
- 48 LANDSCAPED AREA
- 49 TYPICAL LOCATION FOR OUTDOOR TABLES (REFER TO ARCH PLANS)
- 50 CONCRETE PAD FOR OPTIONAL CASH STATION
- 51 FREE-STANDING ORDER POINT CANOPY
- 52 FREE-STANDING OUTSIDE MEAL DELIVERY CANOPY



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**FSR#05916**

BUILDING TYPE / SIZE: P14-LS-BN

RELEASE:

REVISION SCHEDULE  
NO. DATE DESCRIPTION

CONSULTANT PROJECT # MAA240159.00  
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SHEET  
SITE PLAN

SHEET NUMBER

**C-200**

**ZONING TABLE**

ZONE: M-2.0 - MANUFACTURING, LIMITED 2.0  
USE: FOOD SERVICE (W/ DRIVE-THRU)  
BLOCK: 29 LOT(S): 1

**APPLICANT/ OWNER INFORMATION**

APPLICANT: STAFFORD STREET WORCESTER, LLC  
PO BOX 117  
POUND RIDGE, NY 10576

PROPERTY OWNER: STAFFORD STREET WORCESTER, LLC  
PO BOX 117  
POUND RIDGE, NY 10576

**BULK REQUIREMENTS**

ITEM	PERMITTED	EXISTING	PROPOSED
MIN LOT AREA	N/A	106,468 SF (2.44 AC)	NO CHANGE
MIN YARD SETBACKS			
FRONT YARD	10.0' FROM STREET ROW	90.5'	55.9'
SIDE YARD	5.0' FROM SIDE LOT LINE (1)	49.7'	5.1'
REAR YARD	25.0' FROM REAR LOT LINE	65.6'	142.7'
MAX FLOOR TO AREA RATIO	2 TO 1	0.14 TO 1	0.05 TO 1
MIN PARKING SETBACKS			
FRONT	5.0' FROM STREET ROW	4.3'	17.2'
SIDE	5.0' FROM SIDE LOT LINE	7.6'	62.7'

(1) THE EXTERIOR SIDE OF A CORNER LOT SHALL NOT BE LESS THAN ONE HALF (0.5) THE RESPECTIVE FRONT YARD REQUIREMENTS IN A MLD DISTRICT.

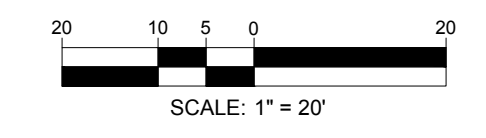
**PARKING REQUIREMENTS**

ITEM	PERMITTED	EXISTING	PROPOSED
MIN STALL SIZE	9' X 18'	9' X 18'	9' X 18'
MIN AISLE WIDTH	24'	24'	25'
MIN NUMBER OF STALLS	38	76	77

FOOD SERVICE: 0.5 SPACES / PERSON RATED OCCUPANCY  
DRIVE-THRU: 1 SPACE/60 SF OF DRIVE-THRU AREA  
74 SEATS X 0.5 = 37 SPACES  
60 SF X 1 SPACE/60 SF = 1 SPACE  
38 TOTAL SPACES REQUIRED

KEY = VARIANCE REQUIRED

**THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY**



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# STAFFORD STREET

(PUBLIC 65' WIDE R.O.W.)

# HEARD STREET

(PUBLIC 49.5' WIDE R.O.W.)

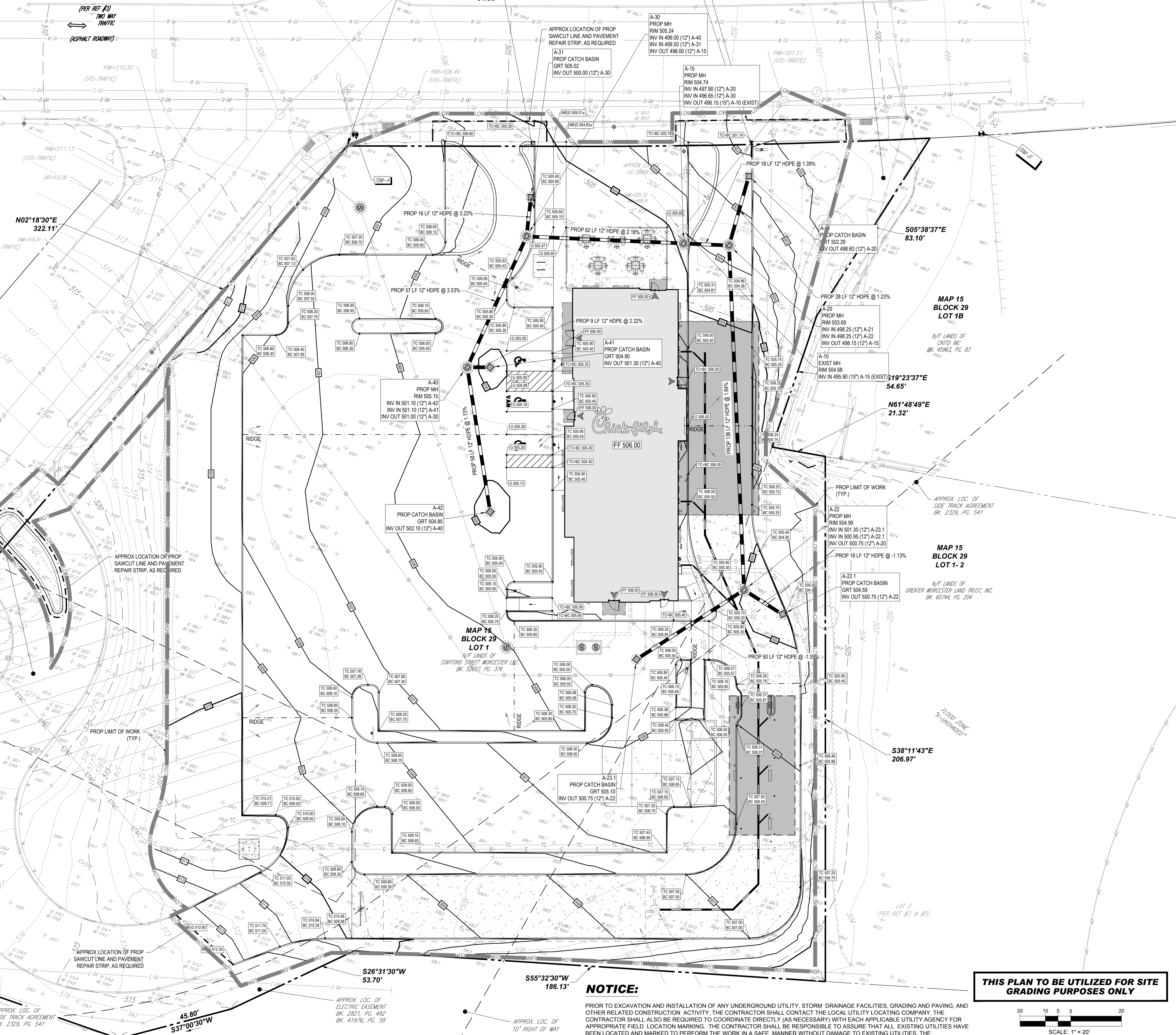
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C

B

A

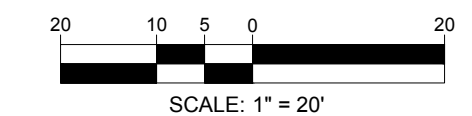
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### NOTICE:

PRIOR TO EXCAVATION AND INSTALLATION OF ANY UNDERGROUND UTILITY, STORM DRAINAGE FACILITIES, GRADING AND PAVING, AND OTHER RELATED CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY LOCATING COMPANY. THE CONTRACTOR SHALL ALSO BE REQUIRED TO COORDINATE DIRECTLY (AS NECESSARY) WITH EACH APPLICABLE UTILITY AGENCY FOR APPROPRIATE FIELD LOCATION MARKING. THE CONTRACTOR SHALL BE RESPONSIBLE TO ASSURE THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED TO PERFORM THE WORK IN A SAFE MANNER WITHOUT DAMAGE TO EXISTING UTILITIES. THE CONTRACTOR SHALL VERIFY THE LOCATION, DIAMETER, PIPE MATERIAL AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES, AS APPLICABLE, PRIOR TO CONSTRUCTION.

**THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY**



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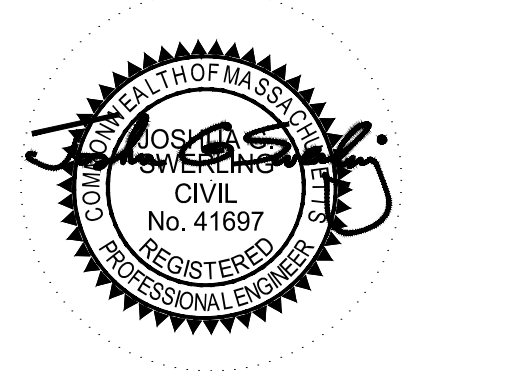
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WORCESTER, MA

## FSR#05916

BUILDING TYPE / SIZE: P14-LS-BN

RELEASE:

REVISION SCHEDULE

NO.	DATE	DESCRIPTION
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SHEET GRADING AND DRAINAGE PLAN	
SHEET NUMBER	C-300



# STAFFORD STREET

(PUBLIC 65' WIDE R.O.W.)

# HEARD STREET

(PUBLIC 40' 8" WIDE R.O.W.)

APPROX. LOC. OF PROP SAWCUT LINE AND PAVEMENT REPAIR STRIP, AS REQUIRED  
 $R=2752.00'$   
 $\Delta=002^{\circ}52'47''$   
 $L=138.32'$   
 $CHB=N50^{\circ}28'12''E$   
 $CHD=138.31'$

P.O.B. BK. 20657, PG. 374

$N51^{\circ}54'36''E$   
 $91.53'$

APPROX. LOC. OF 10' RIGHT OF WAY EASEMENT

LIMIT OF PROP EROSION CONTROL BARRIER (TYP)

APPROX. LOCATION OF PROP SAWCUT LINE AND PAVEMENT REPAIR STRIP, AS REQUIRED

$S05^{\circ}38'37''E$   
 $83.10'$

MAP 15 BLOCK 29 LOT 1B

N/F LANDS OF CXTD INC. BK. 45963, PG. 83

$S19^{\circ}23'37''E$   
 $54.65'$

$N61^{\circ}48'49''E$   
 $21.32'$

APPROX. LOC. OF SIDE TRACK AGREEMENT BK. 2329, PG. 541

MAP 15 BLOCK 29 LOT 1-2

N/F LANDS OF GREATER WORCESTER LAND TRUST, INC. BK. 60744, PG. 204

$S38^{\circ}11'43''E$   
 $206.97'$

PROP EROSION CONTROL BARRIER (TYP)

LOT 2 (PER REF #3 & #5)

$S26^{\circ}31'30''W$   
 $53.70'$

$S55^{\circ}32'30''W$   
 $186.13'$

APPROX. LOC. OF ELECTRIC EASEMENT BK. 28021, PG. 492 BK. 41976, PG. 58

APPROX. LOC. OF 10' RIGHT OF WAY

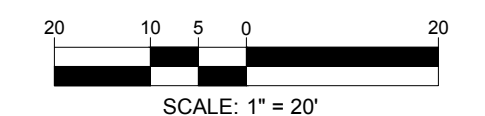
$N18^{\circ}56'30''W$   
 $61.72'$

$S71^{\circ}03'36''W$   
 $147.71'$

APPROX. LOC. OF SIDE TRACK AGREEMENT BK. 2329, PG. 541

$S37^{\circ}00'30''W$   
 $45.80'$

**THIS PLAN TO BE UTILIZED FOR SOIL EROSION AND SEDIMENT CONTROL PURPOSES ONLY**



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SHEET EROSION AND SEDIMENT CONTROL PLAN

SHEET NUMBER

**C-303**

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**UTILITY PLAN DESIGN NOTES & KEY PLAN**

1. THE CONTRACTOR SHALL PROVIDE THE NECESSARY FITTINGS TO CONNECT THE NEW SERVICE LINE EXTENSION TO THE EXISTING SEWER MANHOLE. THE CONTRACTOR SHALL VERIFY SIZE, LOCATION, MATERIAL AND INVERT ELEVATION PRIOR TO INSTALLING ANY SEWER FACILITIES. MINOR ADJUSTMENTS TO THE NEW SERVICE LINE INVERT ELEVATION MAY BE NECESSARY DEPENDING UPON FIELD MEASUREMENTS.

**CAUTION/WARNING**

THE CONTRACTOR SHALL USE EXTREME CAUTION TO PROPERLY SHEET, SHORE, AND DEWATER EXCAVATION TO COMPLETE THE CONNECTION IN A SAFE MANNER, AND WITHOUT DAMAGE OR SETTLEMENT TO EXISTING FACILITIES, ROAD OR SHOPPING CENTER DRIVE. PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES TO PREVENT TRAFFIC FROM DRIVING TOO CLOSE TO THE EXCAVATIONS AND OTHER RELATED WORK AREAS.

2. INSTALL CLEANOUT. USE TRAFFIC RATED CLEANOUT IN ALL PAVEMENT AREAS AS REQUIRED.

3. 1" WATER METER FOR DOMESTIC WATER SUPPLY. CONTRACTOR SHALL COORDINATE WITH THE XXXXX FOR INSTALLATION OF WATER SERVICE TAP, WATER METER, AND METER BOX. CONTRACTOR'S BID PRICE SHALL INCLUDE THE COST OF THE WORK PERFORMED BY THE CITY INCLUDING TAP FEES. TAPS SHALL BE MADE INITIALLY IN CONTRACTOR'S NAME AND TRANSFERRED AT PROJECT COMPLETION. DOMESTIC WATER LINE SHALL BE TYPE K COPPER.

4. 1" WATER METER FOR IRRIGATION WATER SUPPLY. ON-SITE IRRIGATION LINES AND MATERIALS SHALL BE INSTALLED BY THE IRRIGATION CONTRACTOR AS INDICATED ON THE IRRIGATION PLAN.

5. 1" BACKFLOW PREVENTER FOR DOMESTIC WATER SERVICE. THE CONTRACTOR SHALL INSTALL A BACKFLOW PREVENTER (FBCO, WATTS, OR APPROVED EQUAL) FOR EACH WATER SERVICE LINE AS INDICATED ON THE DRAWINGS. INSTALLATION SHALL INCLUDE BOX OR VALVE, AS APPLICABLE. THE CONTRACTOR SHALL COORDINATE WITH THE XXXXX WATER DEPARTMENT FOR INSPECTION, TESTING, AND CERTIFICATION OF ALL BACKFLOW PREVENTERS. ALL BACKFLOW DEVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE XXXXX STANDARDS/SPECIFICATIONS. CONTRACTOR'S BID PRICE SHALL INCLUDE ALL COSTS ASSOCIATED WITH DEVICE INSTALLATION, INSPECTION, TESTING, CERTIFICATION, ETC., TO INCLUDE ANY FEES REQUIRED BY THE XXXXX.

6. 1" BACKFLOW PREVENTER FOR IRRIGATION WATER SERVICE. (SEE NOTE #5 ABOVE).

7. GREASE TRAP TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. CONNECT RESTROOM SERVICE LINE DOWNSTREAM OF GREASE TRAP OUTLET SIDE AT INVERT ELEVATION INDICATED. COORDINATE TOP ELEVATION OF GREASE TRAP WITH DRIVEWAY PAVEMENT ELEVATION.

8. 4" SEWER SERVICE LINE AND CLEANOUT FROM RESTROOM FACILITIES TO BE INSTALLED BY SITE UTILITY CONTRACTOR. COORDINATE INSTALLATION WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS. SERVICE LINE SHALL BY-PASS GREASE TRAP AND CONNECT BEYOND THE OUTLET SIDE.

9. 3" VENT LINE TO BE INSTALLED BY SITE UTILITY CONTRACTOR. SEE ARCHITECT PLUMBING PLANS.

10. TELEPHONE SERVICE CONNECTION LOCATION AT BUILDING. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLANS.

11. 1-1/2" DOMESTIC WATER SERVICE LINE CONNECTION LOCATION AT BUILDING. SITE UTILITY CONTRACTOR SHALL INSTALL DOMESTIC WATER SERVICE LINE FROM THE EXISTING WATER MAIN TO THE MAIN BUILDING CUTOFF VALVE. (SEE ARCHITECT PLUMBING PLAN).

12. 4" KITCHEN WASTE LINE. INSTALL CLEANOUT APPROXIMATELY 6' FROM FACE OF BUILDING. COORDINATE WITH BUILDING CONTRACTOR AND ARCHITECTURAL PLUMBING PLANS.

13. GAS SERVICE LINE AND METER INSTALLATION LOCATION. SEE ARCHITECT PLUMBING PLANS FOR SIZE REQUIREMENTS AND EXACT CONNECTION LOCATION. COORDINATE WITH GAS COMPANY FOR GAS SERVICE LINE INSTALLATION.

14. ELECTRICAL SERVICE LINE CONNECTION AT BUILDING. CONTRACTOR SHALL INSTALL 4" DIAMETER SCHD 40 PVC CONDUIT WITH PULL WIRE FROM EXISTING ELECTRICAL FACILITIES WITHIN THE RIGHT-OF-WAY TO THE TRANSFORMER & ELECTRICAL PULL BOX LOCATED BEHIND THE CHICK-FIL-A SERVICE AREA. COORDINATE CROSSING OF CONDUIT WITH OTHER UTILITIES. CONDUIT SHALL BE BURIED A MINIMUM OF 36" BELOW FINISHED GRADE. ABRUPT BENDS SHALL NOT BE ALLOWED. USE LONG SWEEP ELBOWS AND OTHER NECESSARY FITTINGS TO PROVIDE GRADUAL CHANGES IN DIRECTION. ELECTRIC SERVICE INSTALLATION TO BE COORDINATED WITH LOCAL ELECTRIC COMPANY.

15. 4" DIP WATER LINE FOR SPRINKLER SYSTEM.

16. 6" PVC SCH 40 SANITARY SERVICE LINE.

17. INSTALL 2" SCH 40 PVC CONDUIT WITH PULL WIRE AND PULL BOX FOR TELEPHONE SERVICE LINE INSTALLATION. USE LONG SWEEP RADIUS AT 90° AND 45° BENDS TO AVOID ABRUPT CHANGES IN DIRECTION. COORDINATE WITH TELEPHONE COMPANY FOR SPECIFIC LOCATION OF CONDUIT AT THE EXISTING PEDESTAL.

18. 3/4" C.W. TO DUMPSTER POST HYDRANT.

19. 1 EACH - 4" DIAMETER, SCHEDULE 40 PVC CONDUIT, TYPICAL. SEE BLANK CONDUIT INSTALLATION NOTE.

20. PROPOSED TRANSFORMER.

21. 1-1/2" CORPORATION STOP.

22. 4" SPRINKLER LINE LOCATION AT BUILDING.

**FINISHED GRADING COORDINATION**

THE SITE UTILITY CONTRACTOR SHALL COORDINATE THE INSTALLATION OF NEW UTILITIES WITH FINISHED GRADING AND DRAINAGE FACILITIES AS INDICATED ON THE SITE GRADING AND DRAINAGE PLAN. MINOR ADJUSTMENTS TO THE TOP ELEVATION OF NEW UTILITIES MAY BE NECESSARY.

**NOTICE:**

THE CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR THE EXACT LOCATION AND DIMENSIONS OF VESTIBULE, EXIT PORCHES, DOORS, RAMPS, SERVICE AREA, BUILDING DIMENSIONS AND THE EXACT LOCATION OF UTILITY CONNECTIONS.

**NOTICE: INSTALLATION OF BLANK CONDUIT**

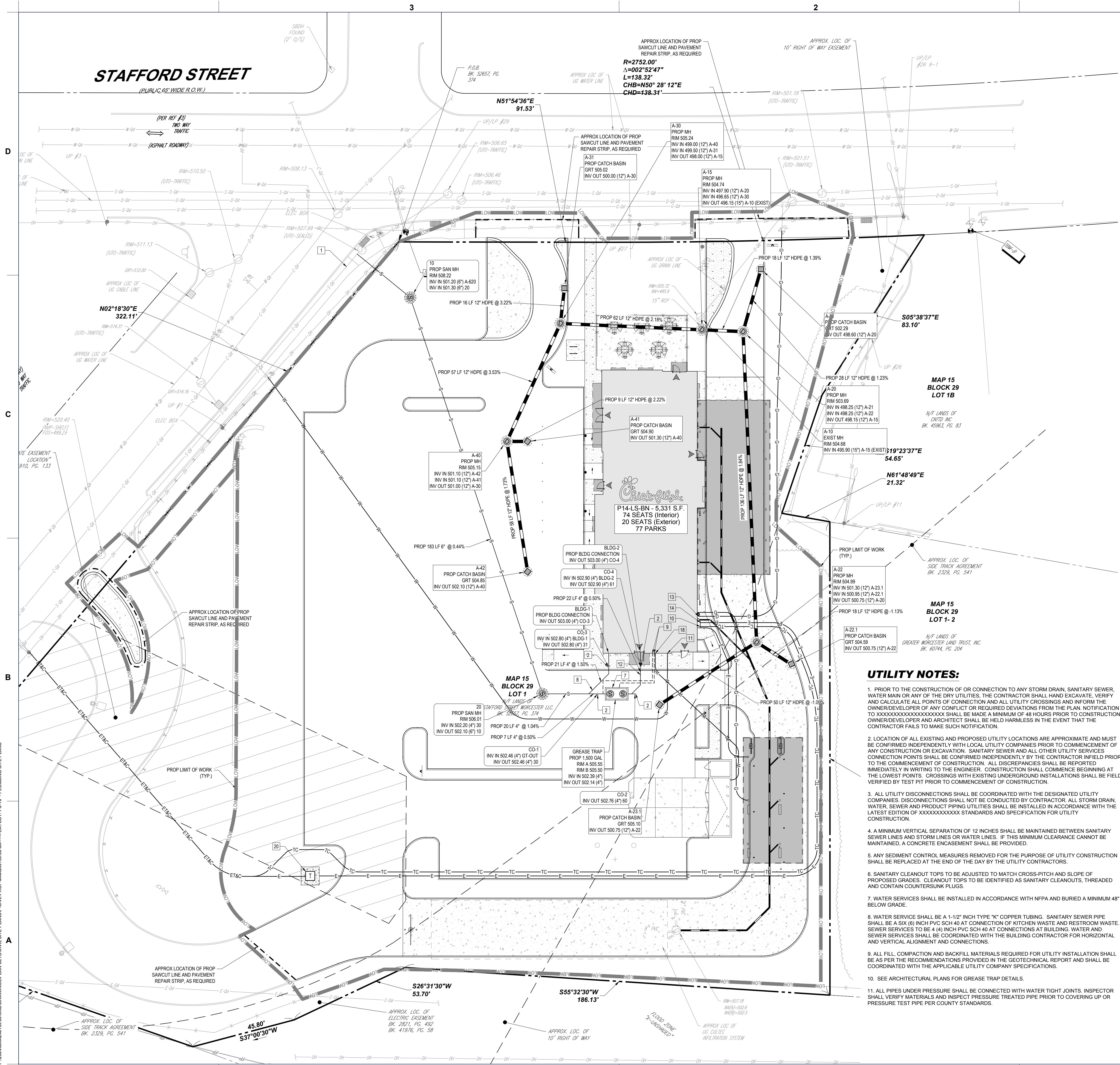
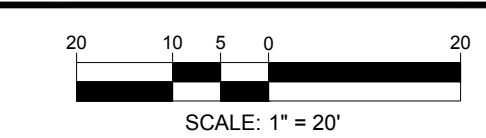
BLANK CONDUIT SLEEVES SHALL BE FOUR (4) INCH SCH 40 PVC UNLESS NOTED OTHERWISE. SLEEVES SHALL BE BURIED A MINIMUM OF 24 INCHES BELOW FINISHED GRADE. DEPTH OF BURIAL SHALL BE SPECIFICALLY COORDINATED WITH ALL EXISTING OR PROPOSED UNDERGROUND UTILITIES AND DRAINAGE FACILITIES AT ALL CROSSINGS. CONDUITS SHALL BE PROVIDED WITH REMOVABLE PLUG AT EACH END. MARK EACH END WITH 2" X 4" POST AT EACH END (PAINTED YELLOW).

**NOTICE: EXISTING UTILITY LOCATIONS**

PRIOR TO EXCAVATION AND INSTALLATION OF ANY UNDERGROUND UTILITY, STORM DRAINAGE FACILITIES, GRADING AND PAVING, AND OTHER RELATED CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL CONTACT THE LOCAL UTILITY LOCATING COMPANY. THE CONTRACTOR SHALL ALSO BE REQUIRED TO COORDINATE DIRECTLY (AS NECESSARY) WITH EACH APPLICABLE UTILITY AGENCY FOR APPROPRIATE FIELD LOCATION MARKING. THE CONTRACTOR SHALL BE RESPONSIBLE TO ASSURE THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED TO PERFORM THE WORK IN A SAFE MANNER WITHOUT DAMAGE TO EXISTING UTILITIES.

THE CONTRACTOR SHALL VERIFY THE LOCATION, DIAMETER, PIPE MATERIAL AND ELEVATION OF EXISTING UTILITIES AND STRUCTURES, AS APPLICABLE, PRIOR TO CONSTRUCTION.

**THIS PLAN TO BE UTILIZED FOR UTILITIES PURPOSES ONLY**



**UTILITY NOTES:**

- PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM DRAIN, SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL HAND EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM THE OWNER/DEVELOPER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION TO XXXXXXXXXXXXXXXXXXXX SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. OWNER/DEVELOPER AND ARCHITECT SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
- LOCATION OF ALL EXISTING AND PROPOSED UTILITY LOCATIONS ARE APPROXIMATE AND MUST BE CONFIRMED INDEPENDENTLY WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICES CONNECTION POINTS SHALL BE CONFIRMED INDEPENDENTLY BY THE CONTRACTOR INFIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES SHALL BE REPORTED IMMEDIATELY IN WRITING TO THE ENGINEER. CONSTRUCTION SHALL COMMENCE BEGINNING AT THE LOWEST POINTS. CROSSINGS WITH EXISTING UNDERGROUND INSTALLATIONS SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES. DISCONNECTIONS SHALL NOT BE CONDUCTED BY CONTRACTOR. ALL STORM DRAIN, WATER, SEWER AND PRODUCT PIPING UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF XXXXXXXXXXXX STANDARDS AND SPECIFICATION FOR UTILITY CONSTRUCTION.
- A MINIMUM VERTICAL SEPARATION OF 12 INCHES SHALL BE MAINTAINED BETWEEN SANITARY SEWER LINES AND STORM LINES OR WATER LINES. IF THIS MINIMUM CLEARANCE CANNOT BE MAINTAINED, A CONCRETE ENCASUREMENT SHALL BE PROVIDED.
- ANY SEDIMENT CONTROL MEASURES REMOVED FOR THE PURPOSE OF UTILITY CONSTRUCTION SHALL BE REPLACED AT THE END OF THE DAY BY THE UTILITY CONTRACTORS.
- SANITARY CLEANOUT TOPS TO BE ADJUSTED TO MATCH CROSS-PITCH AND SLOPE OF PROPOSED GRADES. CLEANOUT TOPS TO BE IDENTIFIED AS SANITARY CLEANOUTS, THREADED AND CONTAIN COUNTERSUNK PLUGS.
- WATER SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH NFPA AND BURIED A MINIMUM 48" BELOW GRADE.
- WATER SERVICE SHALL BE A 1-1/2" INCH TYPE "K" COPPER TUBING. SANITARY SEWER PIPE SHALL BE A 6" (6) INCH PVC SCH 40 AT CONNECTION OF KITCHEN WASTE AND RESTROOM WASTE. SEWER SERVICES TO BE 4 (4) INCH PVC SCH 40 AT CONNECTIONS AT BUILDING. WATER AND SEWER SERVICES SHALL BE COORDINATED WITH THE BUILDING CONTRACTOR FOR HORIZONTAL AND VERTICAL ALIGNMENT AND CONNECTIONS.
- ALL FILL, COMPACTION AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION SHALL BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND SHALL BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS.
- SEE ARCHITECTURAL PLANS FOR GREASE TRAP DETAILS.
- ALL PIPES UNDER PRESSURE SHALL BE CONNECTED WITH WATER TIGHT JOINTS. INSPECTOR SHALL VERIFY MATERIALS AND INSPECT PRESSURE TREATED PIPE PRIOR TO COVERING UP OR PRESSURE TEST PIPE PER COUNTY STANDARDS.



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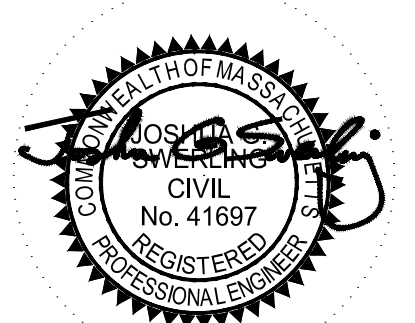
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99 STAFFORD STREET  
WORCESTER, MA

**FSR#05916**

BUILDING TYPE / SIZE: P14-LS-BN

RELEASE:

REVISION SCHEDULE

NO.	DATE	DESCRIPTION

ISSUED FOR PERMIT

CONSULTANT PROJECT # MAA240159.00

PRINTED FOR ISSUED FOR PERMIT

DATE 10/03/2024

DRAWN BY AEH

CHECKED BY JNF

SHEET PLUMBING SITE PLAN

SHEET NUMBER

**PS-100**

P:\2024\MAA240159\00\CADD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\PS-CIVIL-PROJ-MAA240159.DWG - LAYOUT: PS-10 - PLUMBING SITE PLANS





# STAFFORD STREET

(PUBLIC 65' WIDE R.O.W.)

(PER REF #3)  
TRIP HWY  
TRAFFIC  
(ASPHALT ROADWAY)

## OWNER MAINTENANCE RESPONSIBILITIES

UPON OWNERS (OR OWNER CONTRACTOR'S) COMPLETION OF LANDSCAPING WORK, THE OWNER IS FULLY RESPONSIBLE FOR ALL FUTURE MAINTENANCE, CARE, UNWEED, WATERING, AND TRIMMING OF ALL INSTALLED VEGETATION, PLANTS, TREES, BUSHES, SHRUBS, GRASSES, GRASS, ORNAMENTAL PLANTS AND FLOWERS, FLOWERS, GROUND COVER, AND LANDSCAPING, INCLUDING ALL LANDSCAPE ISLANDS AND AREAS ADJACENT OR PART OF THE LANDSCAPED AREAS. THIS RESPONSIBILITY INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING:

- TREES ADJACENT TO WALKWAYS AND AREAS OF PEDESTRIAN TRAFFIC MUST BE MAINTAINED TO ASSURE THAT ANY BRANCHES MUST BE TRIMMED UP TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELLED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- TREES WITH VEHICULAR SIGHT LINES, AS ILLUSTRATED ON THE LANDSCAPE PLAN, ARE TO BE TRIMMED TO A CLEARANCE HEIGHT OF 7 FT. (FROM ALL PAVED, TRAVELLED SURFACES), OR AS OTHERWISE INDICATED ON THE PLANS.
- VEGETATIVE GROUND COVER, SHRUBS AND ORNAMENTAL PLANTS AND GRASSES MUST BE TRIMMED SO THAT NO PORTION OF THE PLANT EXCEEDS 30 INCHES ABOVE GRADE (OF ALL PAVED, TRAVEL SURFACES) ALONG AND WITHIN THE SIGHT LINES OF PARKING LOTS AND HIGHWAYS.
- FALLEN PLANT FLOWERS, FRUIT, SEEDS AND DEBRIS DROPPINGS ARE TO BE REMOVED IMMEDIATELY FROM VEHICULAR AND PEDESTRIAN TRAFFIC AREAS TO PREVENT TRIPPING, SLIPPING OR ANY OTHER HAZARDS.
- THESE REQUIREMENTS DO NOT AFFECT THE PLANT LIFE GUARANTEE. THE LANDSCAPE CONTRACTOR IS REQUIRED TO PROVIDE.

## THIS PLAN TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY

## REFER LANDSCAPE NOTES & DETAILS SHEET FOR LANDSCAPE NOTES AND DETAILS

APPROX. LOC. OF 10' RIGHT OF WAY EASEMENT

5' LANDSCAPE SETBACK

10' FRONT YARD SETBACK

# HEARD STREET

(PUBLIC 40' 3" WIDE R.O.W.)

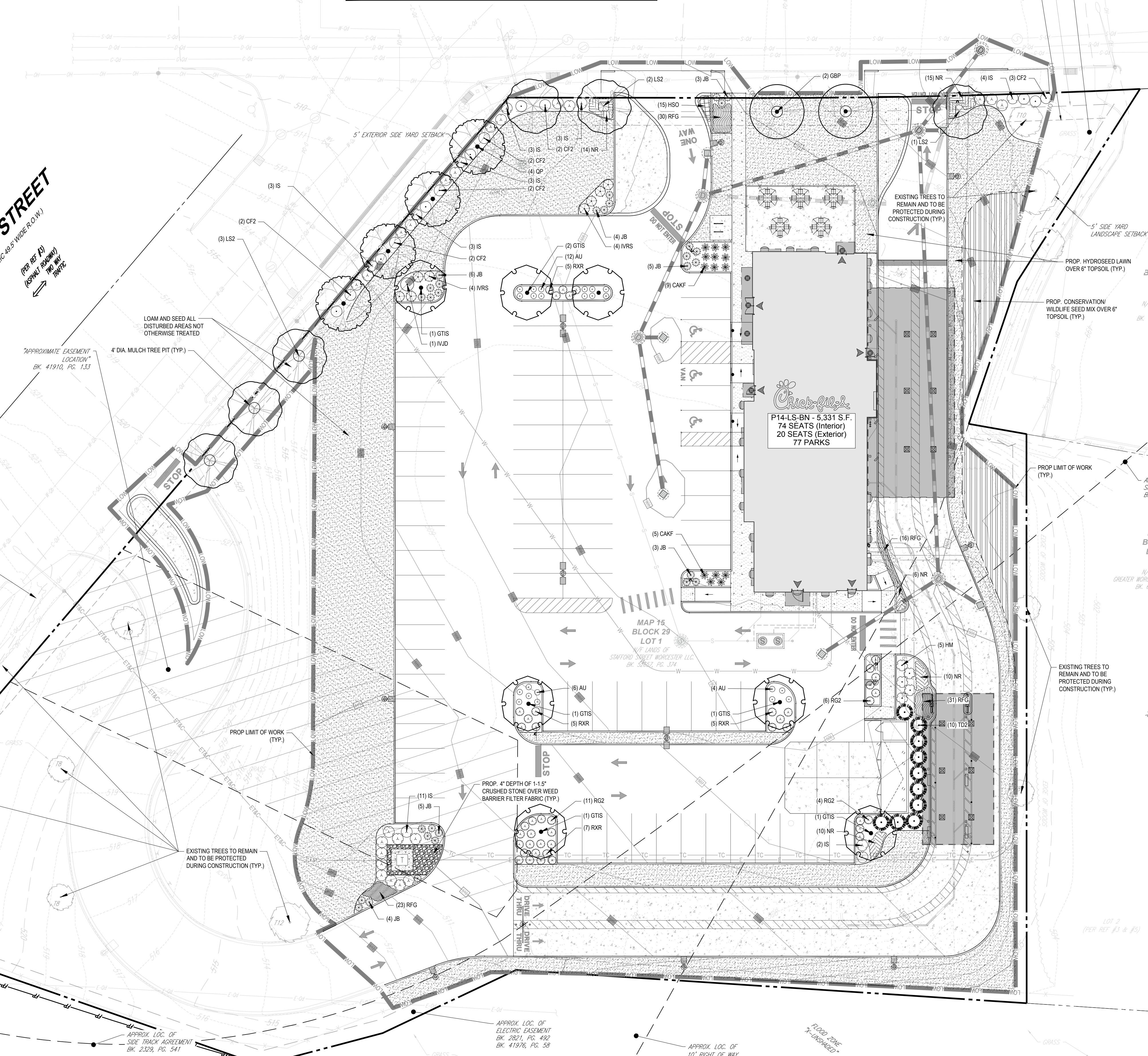
(PER REF #2)  
TRIP HWY  
TRAFFIC  
(ASPHALT ROADWAY)

"APPROXIMATE EASEMENT LOCATION"  
BK. 41910, PG. 133

4" DIA. MULCH TREE PIT (TYP.)

PRUNE AND TRIM EXISTING VEGETATION CLOSER AT THE ACCESS DRIVE TO MAINTAIN SIGHT LINES - AS PER RECOMMENDATIONS OF TOWN HORTICULTURIST

W:\BOHLER\NET\SHARES\MAA\PROJECTS\2024\MAA240159\00\CADD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\CIVIL SITE PLANS\00-LANDSCAPE PLAN L-100 - LANDSCAPE PLAN



Chick-fil-A  
P14-LS-BN - 5,331 S.F.  
74 SEATS (Interior)  
20 SEATS (Exterior)  
77 PARKS

### CITY OF WORCESTER LANDSCAPE REQUIREMENTS

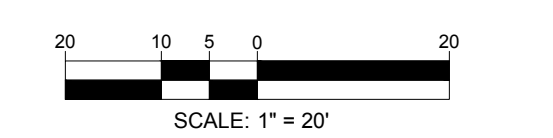
SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
ARTICLE IV, SECTION 7 (NOTE 5 & 6B)	WITH THE EXCEPTION OF RESIDENTIAL DRIVEWAYS AND COMMON DRIVEWAYS, PARKING FACILITIES SHALL BE SET BACK A MINIMUM OF FIVE (5) FEET FROM ALL BOUNDARY LINES TO PROVIDE A BUFFER AREA FROM ADJUTING LOTS. THE BUFFER AREAS SHALL CONSIST OF PERMEABLE SURFACES AND SHALL BE APPROPRIATELY LANDSCAPED IN ACCORDANCE WITH ARTICLE V, SECTION 5(C).	PROVIDED
PARKING LOCATION AND LAYOUT REQUIREMENTS FOR ALL ZONING DISTRICTS (PG. # 105 - 106)	THE PARKING OR STORAGE OF MOTOR VEHICLES IS NOT PERMITTED IN THE FRONT YARD OR REQUIRED FRONT YARD SETBACK, WHICHEVER IS LESS, OR THE EXTERIOR SIDE YARD OR REQUIRED EXTERIOR SIDE YARD SETBACK, WHICHEVER IS LESS.	PROVIDED
ARTICLE IV, SECTION 7 (NOTE 6)	PARKING LOTS WITH MORE THAN SIXTEEN (16) PARKING SPACES SHALL HAVE LANDSCAPING IN THE INTERIOR OF THE PARKING LOT IN ADDITION TO LANDSCAPING ALONG THE EDGES OF THE LOT.  AT LEAST ONE (1) TREE SHALL BE PLANTED WITHIN THE PARKING LOT (INTERIOR FOR EVERY TEN (10) PROPOSED AND EXISTING SPACES. SUCH INTERIOR TREES SHALL BE IN ADDITION TO TREES REQUIRED ALONG THE EDGES OF THE LOT.  INTERIOR TREES SHALL BE PLANTED IN PLANTING BEDS NO SMALLER THAN FIVE FEET BY FIVE FEET (5' X 5').	77 INTERIOR PARKING SPACES NOT ADJUTING LANDSCAPE SETBACK AREA REQUIRED TREES: 77 / 10 = 8 PROVIDED TREES: 8
ARTICLE IV, SECTION 7 (NOTE 6) (PG. # 106)	PARKING SPACES ADJUTING A LANDSCAPED SETBACK AREA (AS DESCRIBED IN NOTE 5, ABOVE) AND IN COMPLIANCE WITH ARTICLE V, SECTION 5(C) OF THIS ORDINANCE, HOWEVER, SHALL NOT BE COUNTED IN THE CALCULATION WHEN DETERMINING THE NUMBER OF INTERIOR TREES REQUIRED.  TREES SHALL BE LOCATED IN SUCH A MANNER AS TO PROVIDE SHADE OVER THE GREATEST NUMBER OF PARKING SPACES PRACTICABLE.	PROVIDED
ARTICLE V, SECTION 5 (C)	A. LANDSCAPE SCREENING SHALL BE REQUIRED ALONG THE SIDEWALK EDGE AND SIDE LOT LINES WHERE THE PARKING, WORK OR SERVICE AREA OF A PROPOSED PROJECT ADJUTS A STREET, PUBLIC PARK OR RESIDENTIAL PROPERTY.  B. LANDSCAPING SCREENING SHALL CONSIST OF PLANTING AREAS AT LEAST FIVE (5) FEET WIDE LOCATED ALONG THE SIDEWALK EDGE AND/OR SIDE LOT LINES OF A PROPOSED USE. LANDSCAPE SCREENING AREAS SHALL BE SEPARATED FROM PARKING AREAS BY A SIX-INCH HIGH CURB. TREES SHALL BE THE MAJOR ELEMENTS OF LANDSCAPE SCREENING. A COMBINATION OF PLANT MATERIALS, TREES AND SHRUBS SHALL BE INCLUDED IN LANDSCAPE SCREENING AREAS. FENCING MAY BE USED IN COMBINATION WITH TREES AND SHRUBS, WHEN APPROPRIATE.  I. TREES: TREES SHALL BE PLANTED EVERY TWENTY (20) TO TWENTY-FIVE (25) FEET ON CENTER. TREES TO BE PLANTED SHALL HAVE TRUNKS AT LEAST THREE (3) TO THREE AND ONE-HALF (3 1/2) INCHES IN DIAMETER WHEN MEASURED SIX (6) INCHES ABOVE THE GROUND.  II. SHRUBS: SHRUBS SHALL BE PLANTED ALONG WITH TREES IN A LANDSCAPE SCREENING AREA. SHRUBS MAY BE DECIDUOUS OR EVERGREEN, OR A MIXTURE OF BOTH TYPES, AND SHALL BE DENSELY PLANTED TO PROVIDE A MATURE APPEARANCE WITHIN THREE (3) YEARS.  FOR LANDSCAPE SCREENING AREAS ALONG A SIDEWALK EDGE, SHRUBS SHALL BE NO TALLER THAN FOUR (4) FEET HIGH.  III. FENCING: FENCING IN A LANDSCAPE SCREENING AREA ALONG A SIDEWALK EDGE SHALL BE INSTALLED JUST INSIDE THE PROPERTY LINE. SUCH FENCE SHALL BE THREE (3) TO FOUR (4) FEET IN HEIGHT AND AT LEAST FIFTY PERCENT (50%) PERFORATED. DECORATIVE APPROPRIATE FOR SIDEWALK EDGES.  FENCING SHALL BE LOCATED UP TO OR WITHIN A THREE-FOOT DISTANCE FROM THE PROPERTY LINE. SUCH FENCING SHALL BE OPAQUE, HIGH FENCES THAT COVER LONG DISTANCES SHALL HAVE SURFACE TEXTURES TO MINIMIZE THEIR SIZE. A WOODEN SHADOWBOX FENCE IS AN EFFECTIVE SCREEN BETWEEN PROPERTIES. IN GENERAL, CHAIN LINK FENCING IS TO BE DISCOURAGED. IF CHAIN LINK FENCING IS USED, IT SHALL BE LIMITED TO SMALL AREAS AND SHALL BE VINYL-COATED CHAIN LINK. THE PLANNING BOARD SHALL DETERMINE THE COLOR OF THE VINYL COATING TO BE USED.	PROVIDED ALONG THE SIDEWALK EDGE OF THE STAFFORD AND HEARD STREET
ARTICLE V, SECTION 5 (D)	LANDSCAPING DESIGN STANDARDS (PG. # 177)	TWO SIDES OF THE PROPERTY ADJUTS SIDEWALK - 315 LF (NOT INCLUDING ACCESS DRIVE(S)) REQUIRED TREES: 13 PROVIDED TREES: 13 (2 EXISTING TREES)
ARTICLE V, SECTION 5 (F)	LANDSCAPING PARKING BUFFERS (PG. # 205)	N/A

### PLANT SCHEDULE

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
<b>CANOPY TREES</b>					
GBP	2	QUINQ. BLOBA PRINCESTON SENTINEL	PRINCESTON SENTINEL MAHOGANY TREE	3" x 3" CAL.	8.8B
GTE	7	GLEDITSIA TRIACANTHOS HERMES SHADENMASTER	SHADENMASTER LOCUST	3" x 3" CAL.	8.8B
LS2	6	LIQUIDAMBAR STYRACIFLUA	SWEET GUM	3" x 3" CAL.	8.8B
QP	4	QUERCUS PALUSTRIS	PIN OAK	3" x 3" CAL.	8.8B
<b>EVERGREEN TREES</b>					
T02	10	THUJA OCCIDENTALIS EMERALD GREEN	EMERALD GREEN ARBORVITAE	8-10"	8.8B
<b>SHRUBS</b>					
CF2	13	CORNUS SERICEA FARRROW	ARCTIC FIREB RED TWIG DOGWOOD	24-30"	CONTAINER
HM	5	HYDRANGEA QUERCIFOLIA MUNCHING	MUNCHING OAKLEAF HYDRANGEA	24-30"	CONTAINER
IS	32	ILEX GLABRA SHARDON	SHARDON KIMBERLY HOLLY	24-30"	CONTAINER
IVLD	1	ILEX VERTICILLATA JIM DANDY	JIM DANDY WINTERBERRY	24-30"	CONTAINER
IKS	8	ILEX VERTICILLATA RED SPIRIT	RED SPIRIT WINTERBERRY	24-30"	CONTAINER
RG2	21	RHUS ARNICA GRO-DOWN	GRO-DOWN FRAGRANT SUMAC	18-24"	CONTAINER
RXR	22	ROSA X RADAZZ	KNOCK OUT SHRUB ROSE	24-30"	CONTAINER
<b>GRASSES</b>					
CAKF	14	CALAMAGROSTIS X ACUTIFLORA KARL FÖRSTER	FEATHER REED GRASS	1 GAL.	CONTAINER
<b>GROUND COVER</b>					
AU	22	ARCTOSTAPHYLOS UVA-URSI	BEARBERRY	15-18" SPFD	CONTAINER
JB	30	JUNPERUS HORIZONTALIS BLUE PRINCE	BLUE PRINCE CREEPING JUMPER	15-18" SPFD	CONTAINER
<b>PERENNIALS</b>					
HSO	15	HEMEROCALLIS X STELLA DE ORO	STELLA DE ORO DAYLILY	1 GAL.	CONTAINER
NR	55	NEPETA RACEMOSA WALKERS LOW	WALKERS LOW CATMINT	1 GAL.	CONTAINER
RF2	57	RUDBECKIA FULGIDA SULLIVANTI GOLDSTURM	GOLDSTURM CONEFLOWER	1 GAL.	CONTAINER

### SEED MIX KEY

UNIFORMITY	DESCRIPTION
3LE 10457	PROPOSED HYDRANGEAS - SCOTTSDALE LEGACY CRUS LED COPPINI LUMINAIRE (CRUS), BRONZE, ZERO UP-LIGHT
3LE 605	0.900 COOPER LIGHTING, HALO SLDS4 SERIES 4" SURFACE LED DOWNLIGHT WALL MOUNT, SELECTABLE CO
3LE 830	PROPOSED CONSERVATION WILDLIFE SEED MIX
3LE 888	0.900 COOPER LIGHTING, LUMARK PREVAL, DISCRETE LED AREA/SITE LUMINAIRE, TYPE 2 URBAN, ZERO UP-L
3LE 6893	0.900 COOPER LIGHTING, LUMARK PREVAL, DISCRETE LED AREA/SITE LUMINAIRE, TYPE 2 URBAN, WITH HOL
3LE 9857	0.900 COOPER LIGHTING, LUMARK PREVAL, DISCRETE LED AREA/SITE LUMINAIRE, TYPE 3, ZERO UP-LIGHT



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99 STAFFORD STREET  
WORCESTER, MA

**FSR#05916**  
BUILDING TYPE / SIZE: P14-LS-BN  
RELEASE:

REVISION SCHEDULE  
NO. DATE DESCRIPTION

ISSUED FOR PERMIT

CONSULTANT PROJECT # MAA240159.00  
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DATE 10/03/2024  
DRAWN BY AEH  
CHECKED BY JNF  
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SHEET LANDSCAPE PLAN

SHEET NUMBER  
**L-100**

LANDSCAPE SPECIFICATIONS

1. SCOPE OF WORK:
  - 1.1. THE LANDSCAPE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.
2. MATERIALS
  - 2.1. GENERAL - ALL HARDCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.
  - 2.2. TOPSOIL - NATURAL, FRIABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 5%, A PH RANGE BETWEEN 4.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLOTS.
  - 2.3. LAWN - ALL DISTURBED AREAS ARE TO BE TREATED WITH A MINIMUM 6" THICK LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, AND SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED ON THE LANDSCAPE PLAN
  - 2.3.1. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
  - 2.3.2. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO HOLD SOD IN PLACE.
  - 2.4. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN AND/OR LANDSCAPE PLAN NOTES/DETAILS.
  - 2.5. FERTILIZER
    - 2.5.1. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
    - 2.5.2. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.
  - 2.6. PLANT MATERIAL
    - 2.6.1. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1), LATEST EDITION, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN).
    - 2.6.2. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.
    - 2.6.3. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
    - 2.6.4. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/2", WHICH HAVE NOT BEEN COMPLETELY CALLEDUS, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
    - 2.6.5. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE.
    - 2.6.6. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
    - 2.6.7. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH.
    - 2.6.8. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES
  - 3.1. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
  - 3.2. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.
4. SITE PREPARATIONS
  - 4.1. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
  - 4.2. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.
  - 4.3. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.
5. TREE PROTECTION
  - 5.1. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
  - 5.2. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY "VISI-FENCE" OR APPROVED EQUAL, MOUNTED ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDICATED WITHIN THE TREE PROTECTION DETAIL.
  - 5.3. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
  - 5.4. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS
  - 6.1. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
  - 6.2. LANDSCAPE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE LANDSCAPE CONTRACTOR DEPENDING ON SITE CONDITIONS.
  - 6.3. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
  - 6.3.1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH HIGHER THAN 7.5.
  - 6.3.2. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM. COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO INCREASE DRAINAGE.
  - 6.3.3. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.
7. FINISHED GRADING
  - 7.1. UNLESS OTHERWISE CONTRACTED, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
  - 7.2. LANDSCAPE CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED TOPSOIL THICKNESS (1").
  - 7.3. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
  - 7.4. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.
8. TOPSOILING
  - 8.1. CONTRACTOR SHALL PROVIDE A 6" THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
  - 8.2. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
  - 8.3. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGHOUT SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.
  - 8.4. ALL LAWN AREAS ARE TO BE CULTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES SECTION ABOVE. THE FOLLOWING SHALL BE FILLED INTO THE TOP FOUR INCHES (4") IN TWO DIRECTIONS (QUANTITIES BASED ON A 1,000 SQUARE FOOT AREA - FOR BID PURPOSES ONLY [SEE SPECIFICATION 6.A.J]):
    - 8.4.1. 20 POUNDS 'GRO-POWER' OR APPROVED SOIL CONDITIONER/FERTILIZER
    - 8.4.2. 20 POUNDS NITRO-FORM (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER
  - 8.5. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS.

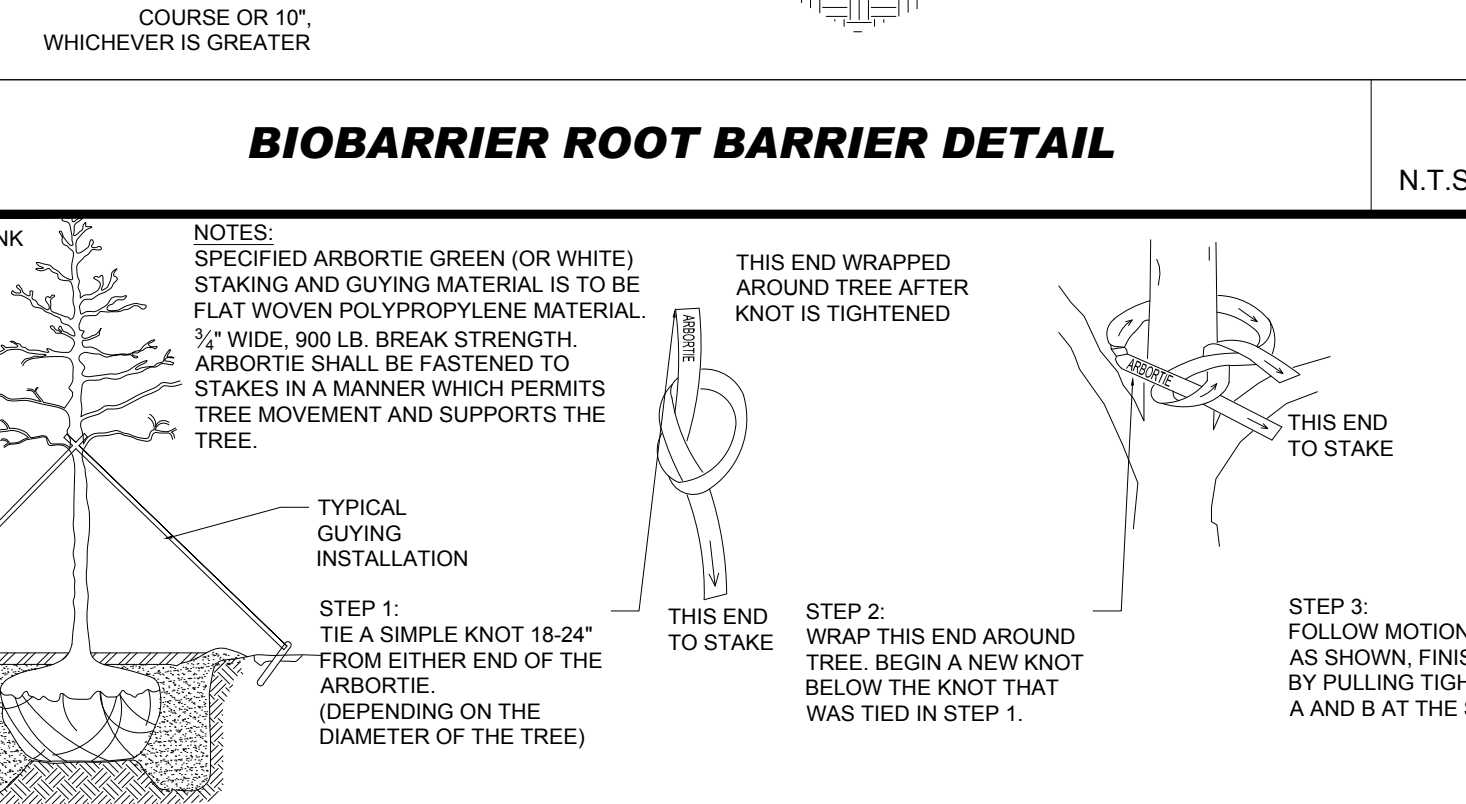
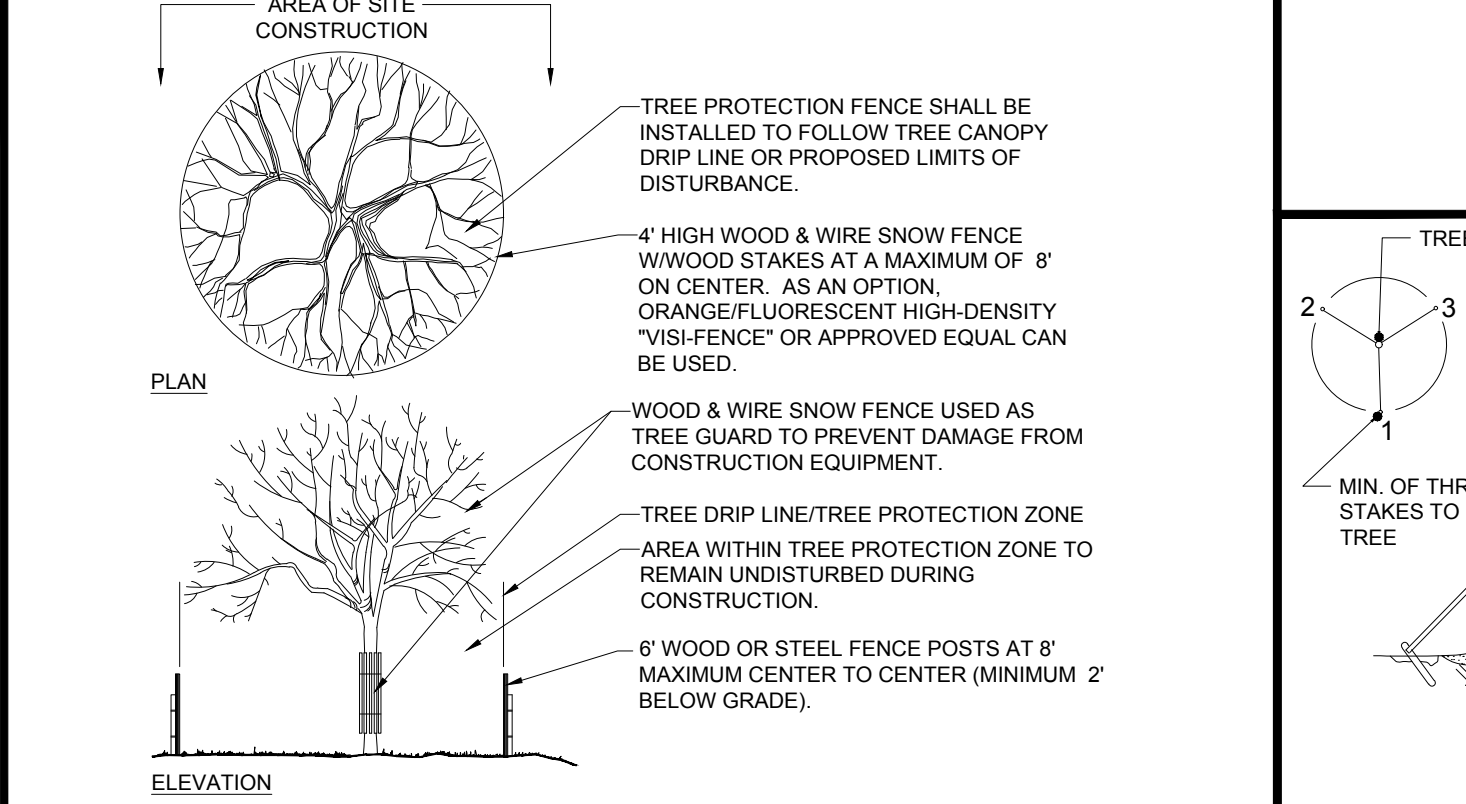
9. PLANTING
  - 9.1. INsofar THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, LANDSCAPE CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE.
  - 9.2. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION.

- 9.3. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN CUT ENDS PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED.
- 9.4. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.
- 9.5. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED.
- 9.6. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING SEASONS:
  - 9.6.1. PLANTS: MARCH 15 TO DECEMBER 15
  - 9.6.2. LAWN: MARCH 15 TO JUNE 15 OR SEPT. 1 TO DECEMBER 1
- 9.6.3. PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR POTENTIAL SUBSTITUTIONS.
- 9.7. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON:
 

ACER RUBRUM	PLATANUS X ACERIFOLIA
BETULA VARIETIES	POPULUS VARIETIES
CARPINUS VARIETIES	PRUNUS VARIETIES
CRATAEGUS VARIETIES	PYRUS VARIETIES
KOELREUTERIA	QUERCUS VARIETIES
LIQUIDAMBAR STYRACIFLUA	TILIA TOMENTOSA
LIRIODENDRON TULPIFERA	ZELKOVA VARIETIES
- 9.8. PLANTING PITS SHALL BE DUG WITH LEVEL BOTTOMS, WITH THE WIDTH TWICE THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN LAYERS WITH THE FOLLOWING PREPARED SOIL MIXED THOROUGHLY:
  - 9.8.1. 1 PART PEAT MOSS
  - 9.8.2. 1 PART COMPOSTED COW MANURE BY VOLUME
  - 9.8.3. 3 PARTS TOPSOIL BY VOLUME
  - 9.8.4. 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:
    - 9.8.4.1. 2 TABLETS PER 1 GALLON PLANT
    - 9.8.4.2. 3 TABLETS PER 5 GALLON PLANT
    - 9.8.4.3. 4 TABLETS PER 15 GALLON PLANT
    - 9.8.4.4. LARGER PLANTS: 2 TABLETS PER 1/2" CALIPER OF TRUNK
- 9.9. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND WATER THOROUGHLY.
- 9.10. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF THE ROOT BALL.
- 9.11. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE.
- 9.12. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION.
- 9.13. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM EXISTING STRUCTURES AND SIDEWALKS.
- 9.14. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.
- 9.15. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN.

10. TRANSPLANTING (WHEN REQUIRED)
  - 10.1. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT.
  - 10.2. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.
  - 10.3. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10 AND JUNE 30.
  - 10.4. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE.
  - 10.5. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN.
  - 10.6. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.
11. WATERING
  - 11.1. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE AT LEAST UNTIL PLANTS ARE ESTABLISHED.
  - 11.2. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.
  - 11.3. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE, IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

12. GUARANTEE
  - 12.1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF 1 YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE TO BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
  - 12.2. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION.
  - 12.3. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND THROUGHOUT THE 90 DAY MAINTENANCE PERIOD AS SPECIFIED HEREIN. CULTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE.
  - 12.4. LAWNS SHALL BE MAINTAINED THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
13. CLEANUP
  - 13.1. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
  - 13.2. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.
14. MAINTENANCE (ALTERNATIVE BID)
  - 14.1. A 90 DAY MAINTENANCE PERIOD SHALL COMMENCE AT THE END OF ALL LANDSCAPE INSTALLATION OPERATIONS. THE 90 DAY MAINTENANCE PERIOD ENSURES TO THE OWNER/OPERATOR THAT THE NEWLY INSTALLED LANDSCAPING HAS BEEN MAINTAINED AS SPECIFIED ON THE APPROVED LANDSCAPE PLAN. ONCE THE INITIAL 90 DAY MAINTENANCE PERIOD HAS EXPIRED, THE OWNER/OPERATOR MAY REQUEST THAT BIDDERS SUBMIT AN ALTERNATE MAINTENANCE BID FOR A MONTHLY MAINTENANCE CONTRACT. THE ALTERNATE MAINTENANCE CONTRACT WILL ENCOMPASS ANY WORK THAT IS CONSIDERED APPROPRIATE TO ENSURE THAT PLANT AND LAWN AREAS ARE HEALTHY AND MANICURED TO THE APPROVAL OF THE OWNER/OPERATOR.

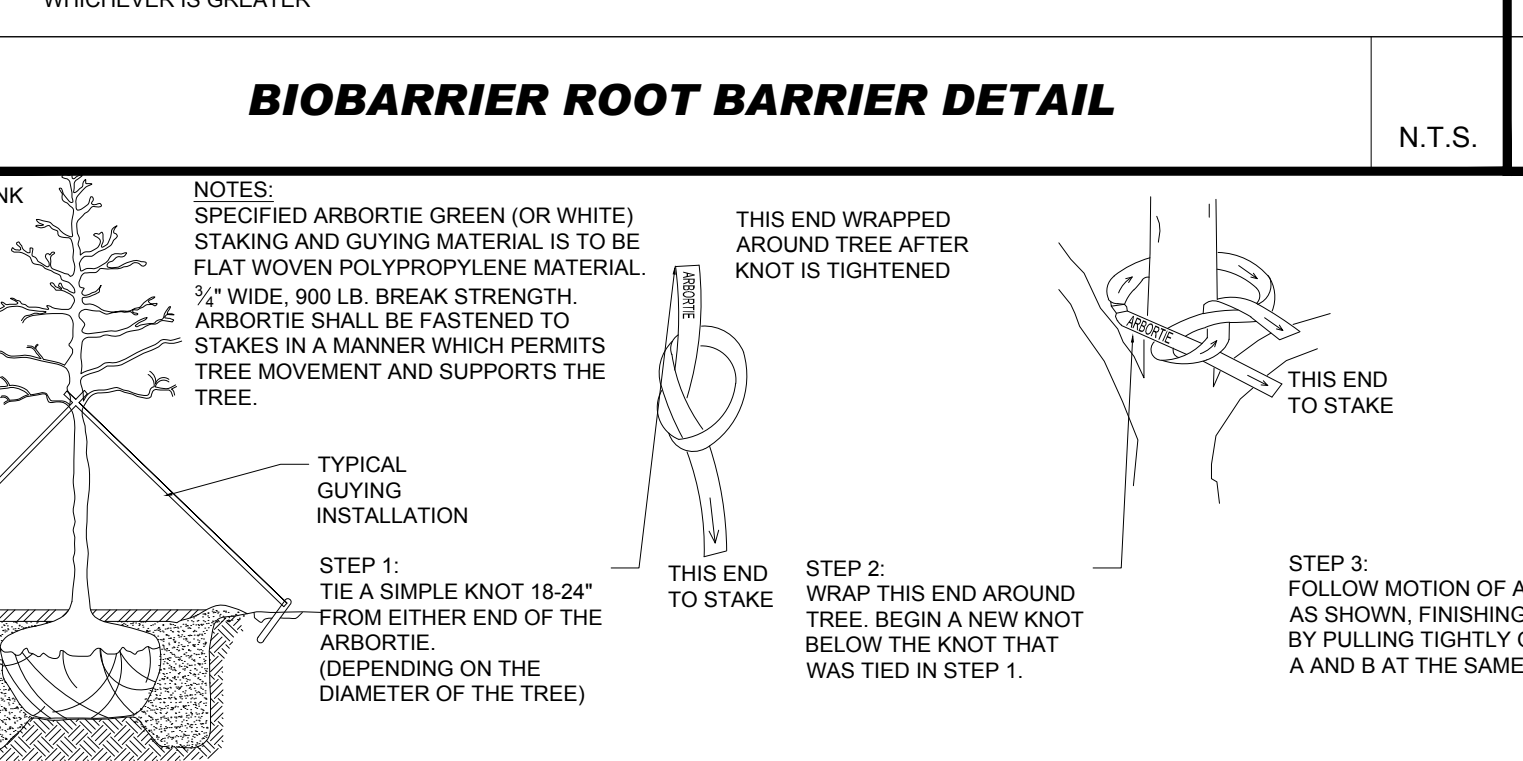
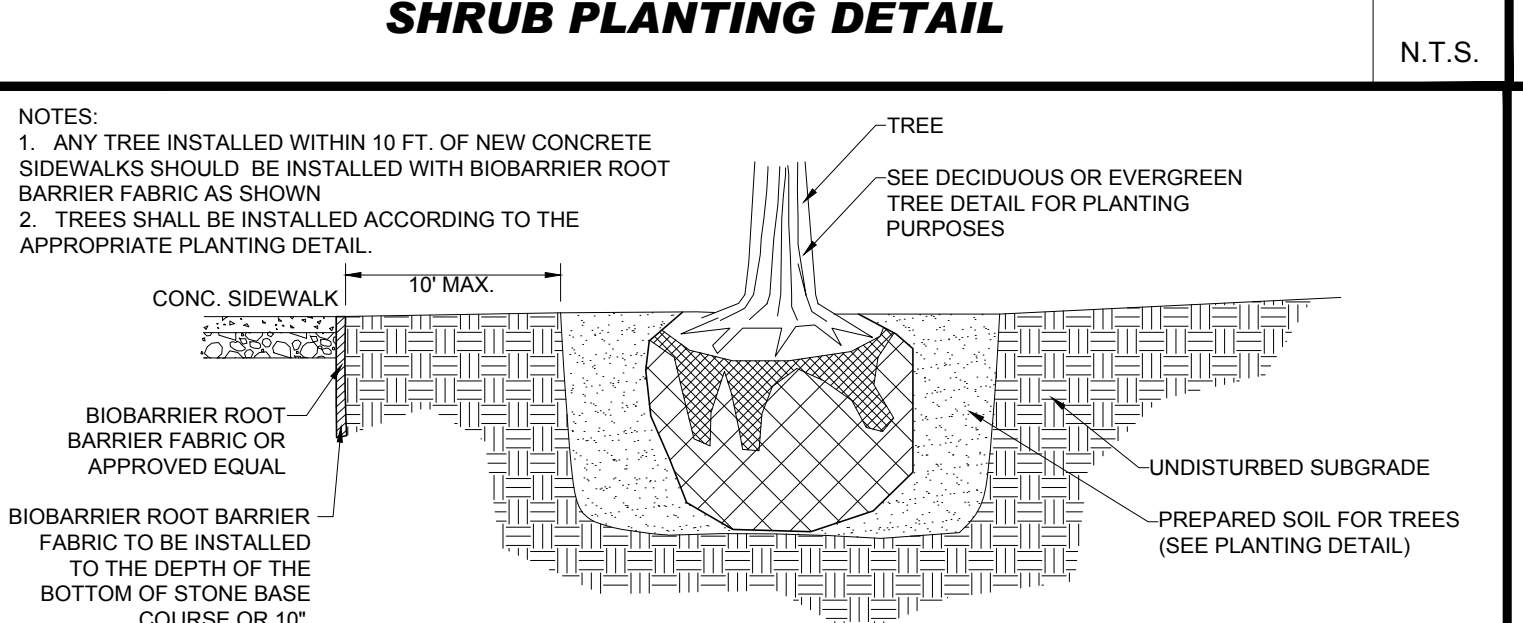
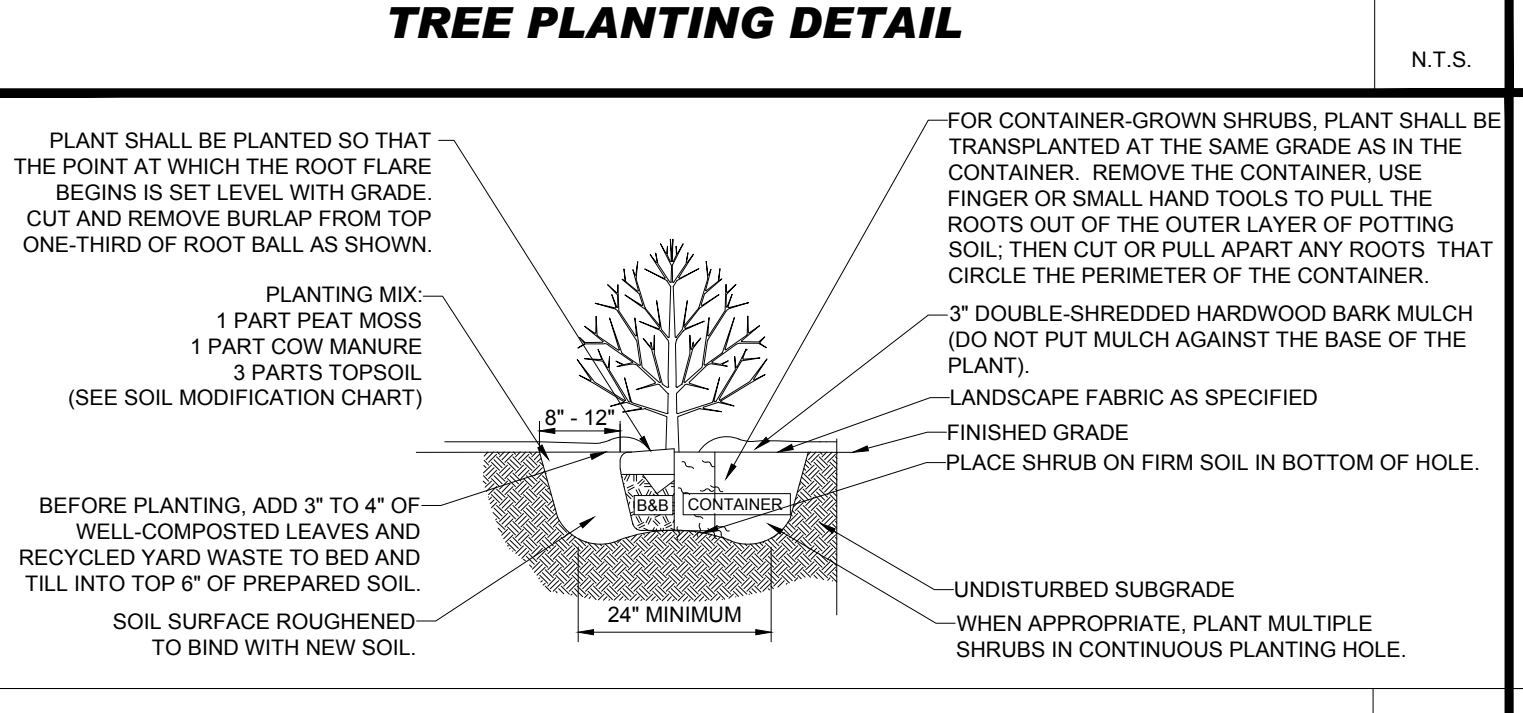
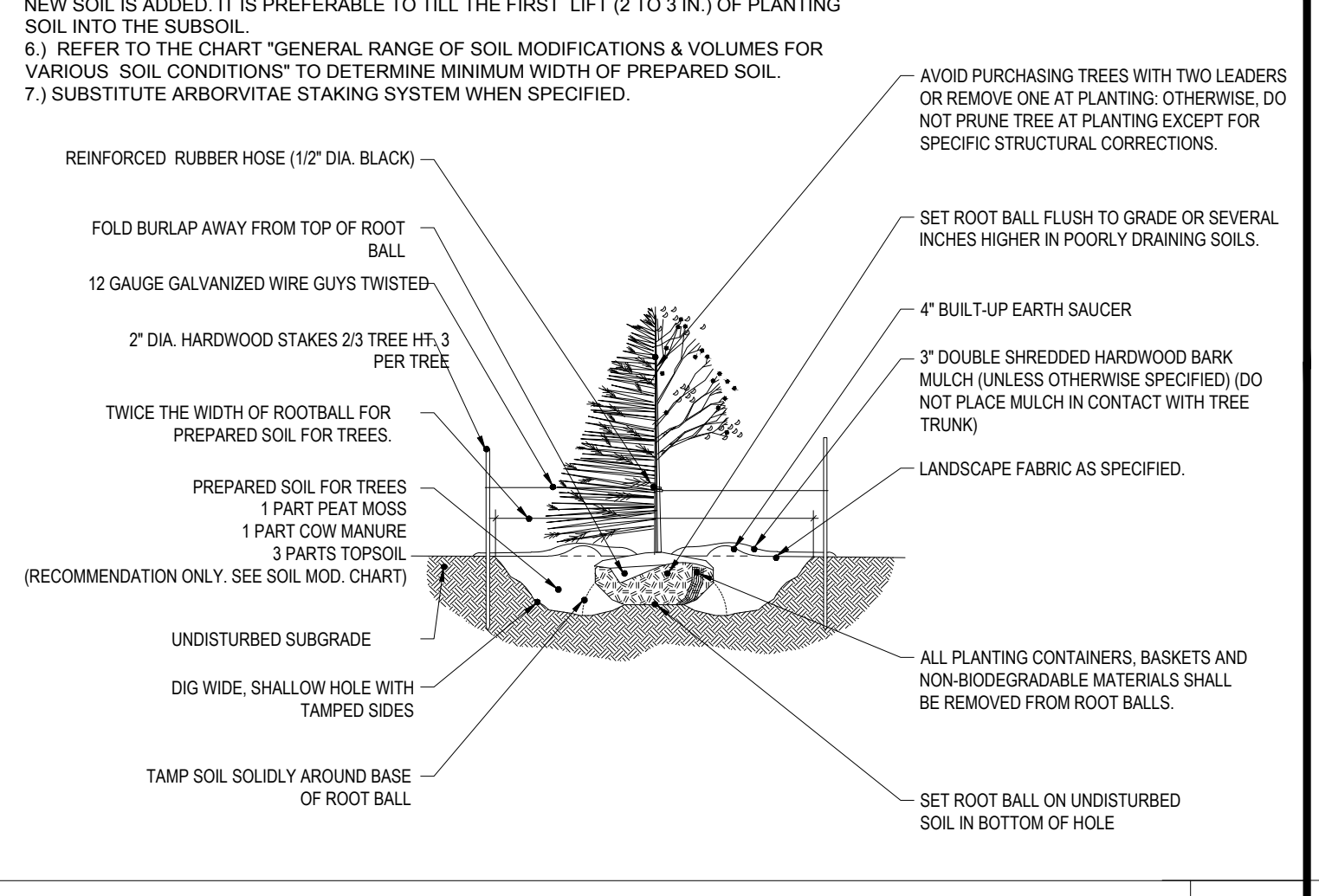


NEW ENGLAND CONSERVATION WILDLIFE SEED MIX AS PREPARED BY:  
 NEW ENGLAND WILDLIFE PLANTS, INC  
 820 WEST STREET, AMHERST, MA 01002  
 PHONE: 413-548-8900  
 EMAIL: INFO@NEWP.COM  
 WEBSITE: WWW.NEWVWP.COM

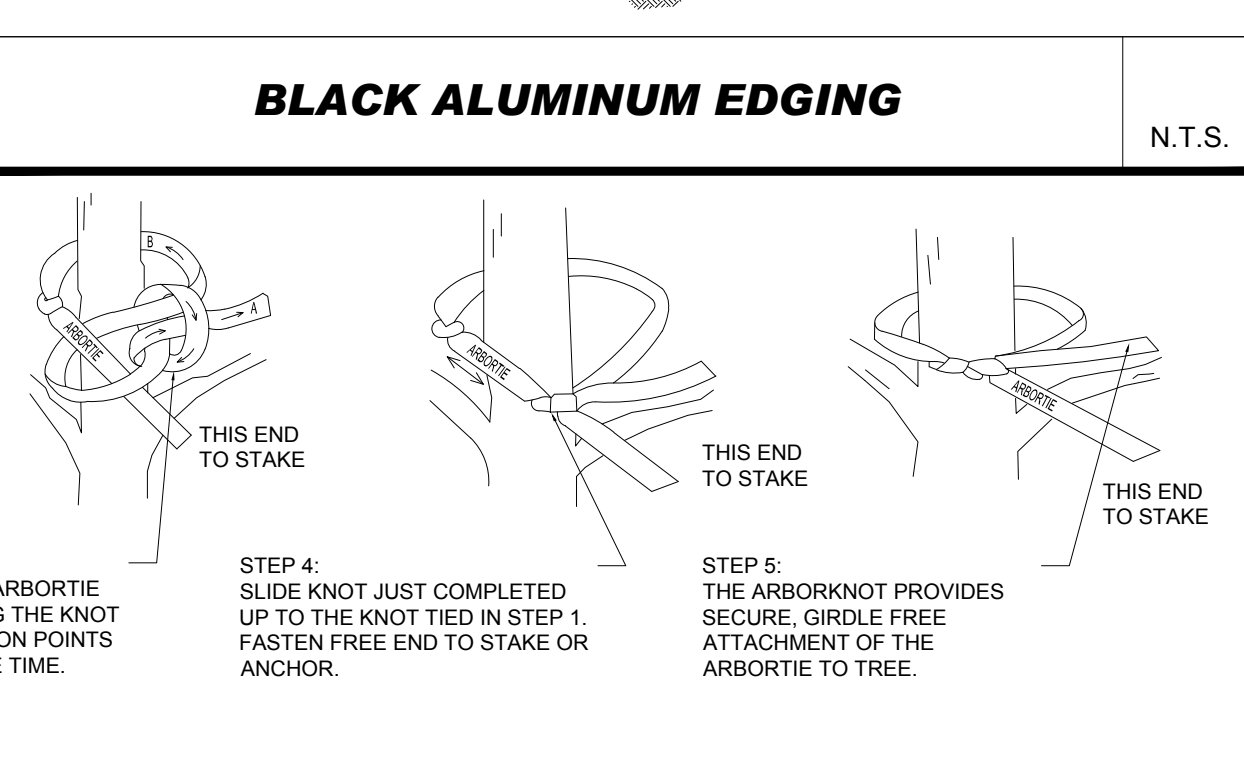
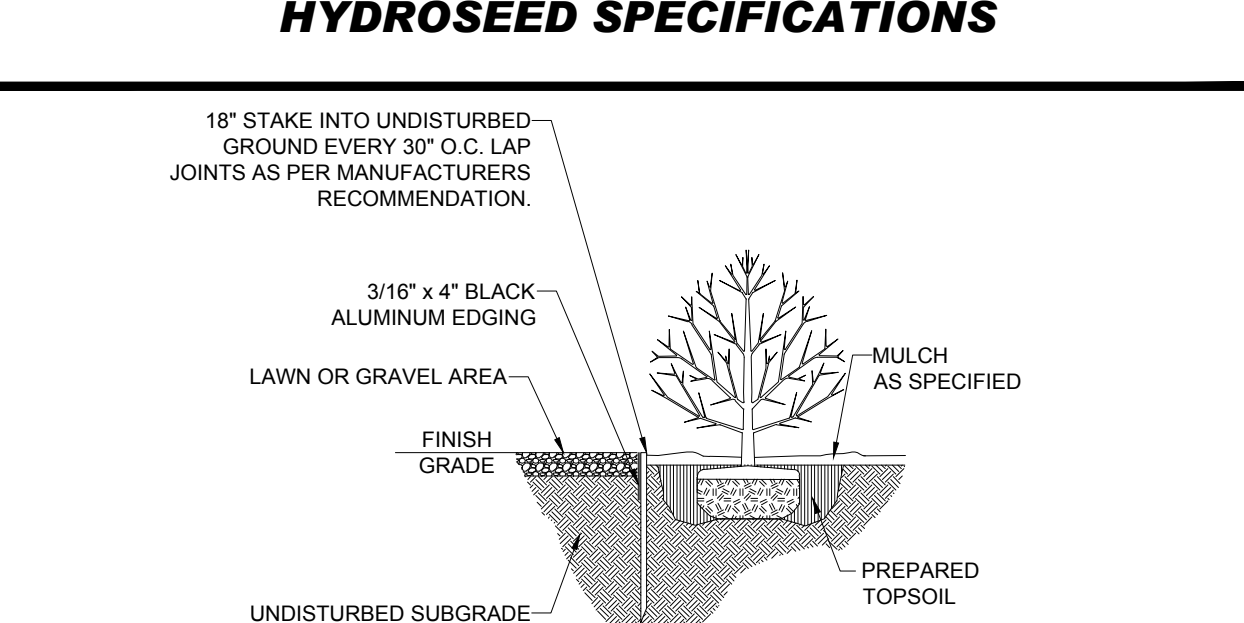
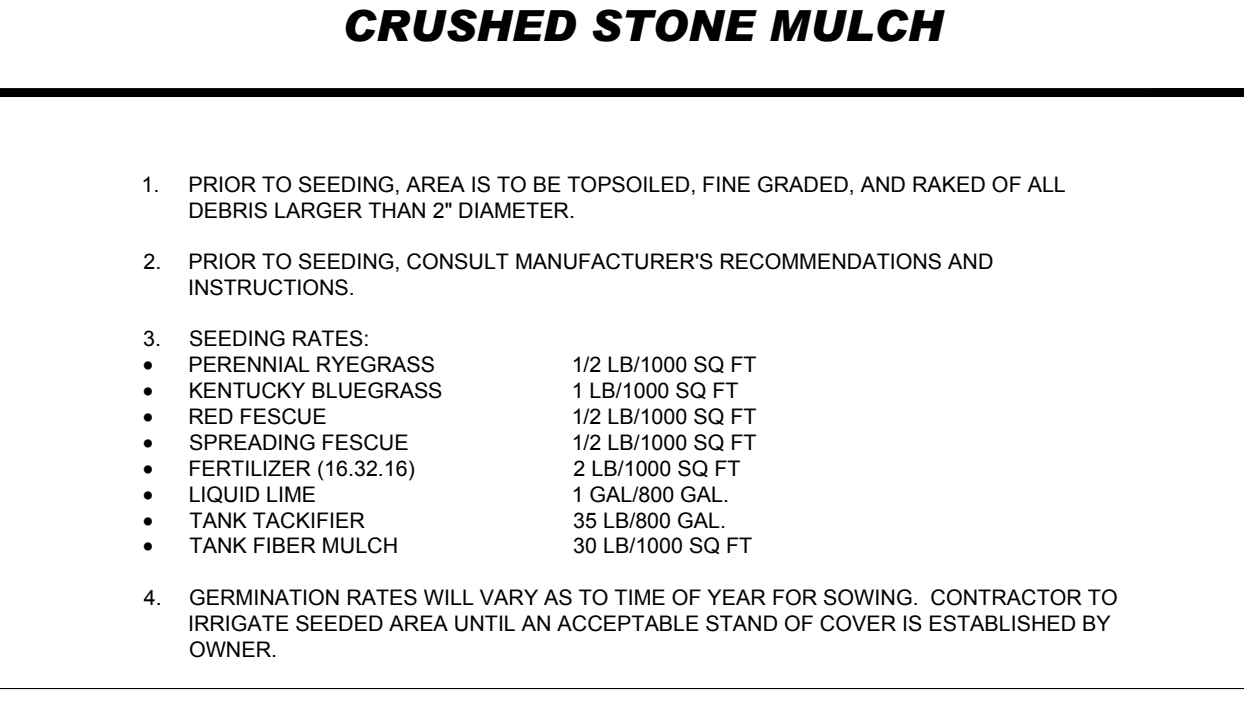
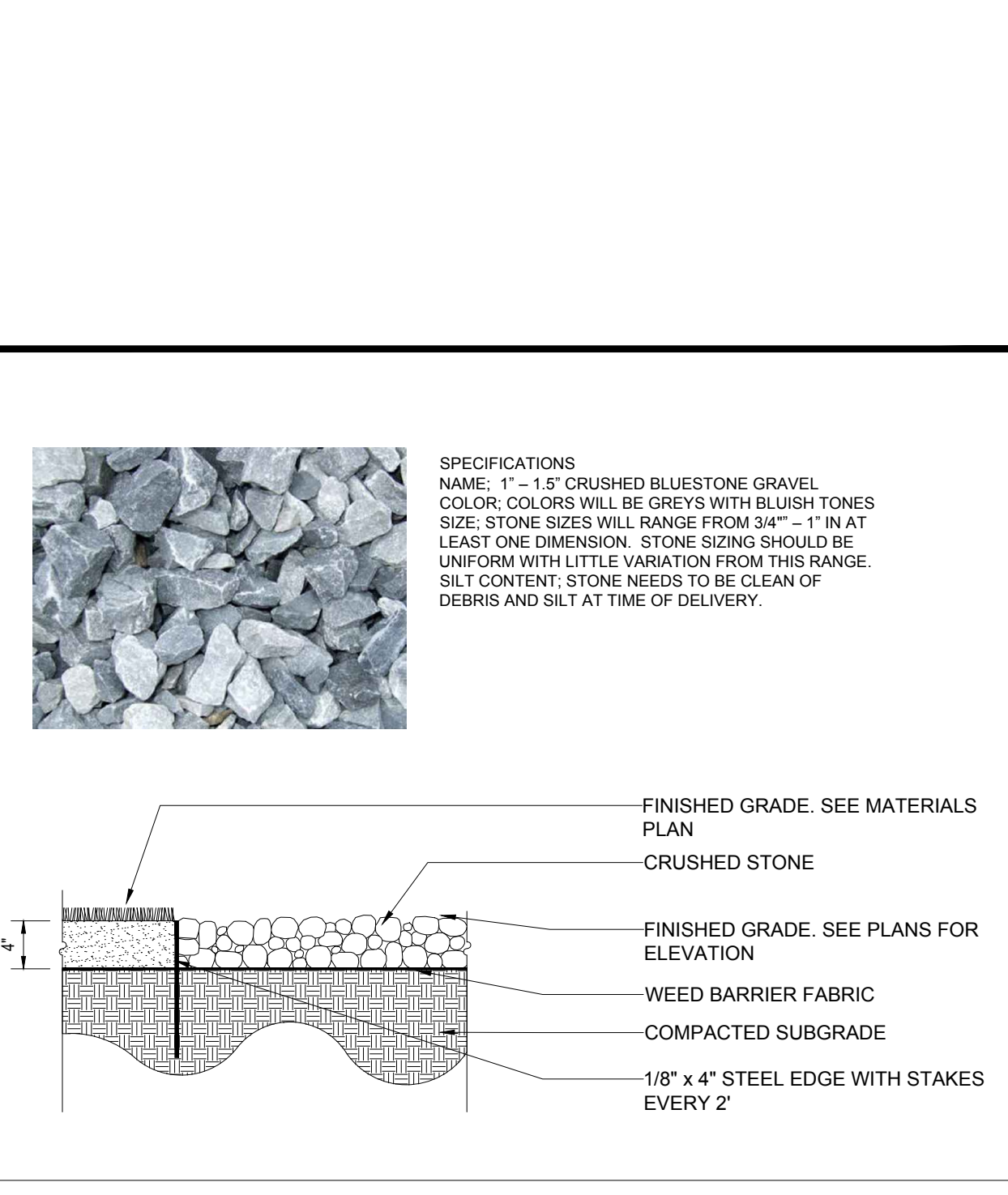
APPLICATION RATE: 25LBS/ACRE | 1750 SQ FT/LB  
 MINIMUM ORDER: 2 LBS  
 SPECIES: VIRGINIA WILD RYE (ELYMUS VIRGINICUS), LITTLE BLUESTEM (SCHIZACHYRIUM SCOPARIUM), BIG BLUESTEM (ANDROPOGON GERARDII), RED FESCUE (FESTUCA RUBRA), SWITCH GRASS (Panicum VIRGATUM), PARTRIDGE PEA (CHAMAECRISTA FASCICULATA), PANICLELEAF TICK TREFOIL (DESMODIUM PANICULATUM), INDIAN GRASS (SORGHASTRUM NUTANS), BLUE VERVAIN (VERBENA HASTATA), BUTTERFLY MILKWEED (ASCLEPIAS TUBEROSA), BLACK EYED SUSAN (RUBICECIA HIRTA), COMMON SNEEZEWEED (HELENIUM AUTUMNALE), HEATH ASTER (ASTERPOLIOSUS/IMPYHOTRICHUM PILIOSUM), EARLY GOLDENROD (SOLIDAGO JUNCEA), UPLAND BENTGRASS (AGROSTIS PERENNANS).

NEW ENGLAND CONSERVATION WILDLIFE SEED MIX SPECIFICATIONS

- NOTES:  
 1.) NO SOIL OR MULCH SHALL BE PLACED AGAINST ROOT COLLAR OF PLANT.  
 2.) REMOVE ALL NON-BIODEGRADABLE MATERIAL AND ROPE FROM TRUNK & TOP OF ROOT BALL. FOLD BURLAP BACK 1/3 FROM ROOT BALL.  
 3.) PLANTING DEPTH SHALL BE THE SAME AS GROWN IN NURSERY.  
 4.) THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS.  
 5.) THE BOTTOM OF PLANTING PIT EXCAVATIONS SHOULD BE ROUGH TO AVOID MATTING OF SOIL LAYERS AS NEW SOIL IS ADDED. IT IS PREFERABLE TO TILL THE FIRST LIFT (2 TO 3 IN.) OF PLANTING SOIL INTO THE SUBSOIL.  
 6.) REFER TO THE CHART "GENERAL RANGE OF SOIL MODIFICATIONS & VOLUMES FOR VARIOUS SOIL CONDITIONS" TO DETERMINE MINIMUM WIDTH OF PREPARED SOIL.  
 7.) SUBSTITUTE AEROTIVE STAKING SYSTEM WHEN SPECIFIED.



CRUSHED STONE MULCH. SPECIFICATIONS: NAME: 1" - 1.5" CRUSHED BLUESTONE GRAVEL. COLOR: COLORS WILL BE GREYS WITH BLSH-TONES. SIZE: STONE SIZES WILL RANGE FROM 3/4" - 1" IN AT LEAST ONE DIMENSION. STONE SIZING SHOULD BE UNIFORM WITH LITTLE VARIATION FROM THIS RANGE. SILT CONTENT: STONE NEEDS TO BE CLEAN OF DEBRIS AND SILT AT TIME OF DELIVERY.



Chick-fil-A  
 Chick-fil-A  
 5200 Buffington Road  
 Atlanta, Georgia 30349-2998

BOHLER  
 352 TURNPIKE ROAD, 3RD FLOOR  
 SOUTHBOROUGH, MA 01772  
 Phone: (508) 480-9800

811  
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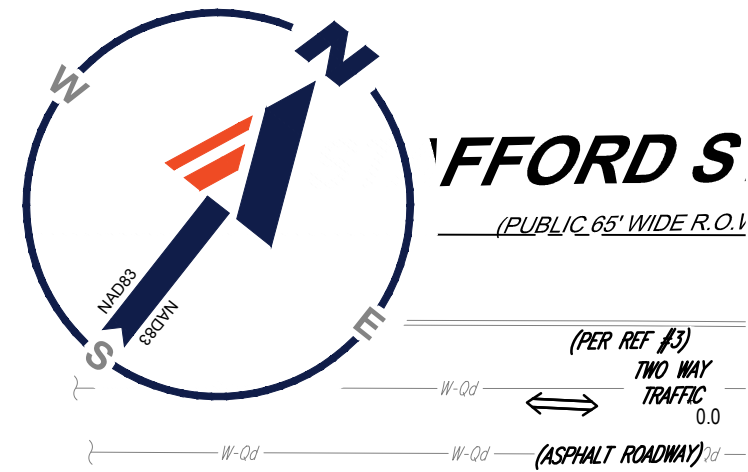
CHICK-FIL-A  
 99 STAFFORD STREET  
 WORCESTER, MA

FSR#05916

BUILDING TYPE / SIZE:	P14-LS-BN	
RELEASE:		
REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	MAA240159.00
PRINTED FOR	ISSUED FOR PERMIT
DATE	10/03/2024
DRAWN BY	AEH
CHECKED BY	JNF
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SHEET	LANDSCAPE NOTES AND DETAILS
SHEET NUMBER	L-101

ISSUED FOR PERMIT



**LUMINAIRE SCHEDULE**

LABEL	QTY	MOUNTING HEIGHT	ARRANGEMENT	LUM. LUMENS	LLF	DESCRIPTION	POLE
C-1	12	9'-8" AFG	SINGLE	10457	0.900	LSI LIGHTING, SCOTTSDALE LEGACY CRUS LED CANOPY LUMINAIRE (CRUS), BRONZE, ZERO UP-LIGHT (CRUS-SC-LW-30-x)	---
L-2	21	9'-8" AFG	SINGLE	605	0.900	COOPER LIGHTING, HALO SLDLS4 SERIES 4" SURFACE LED DOWNLIGHT WALL MOUNT, SELECTABLE CCT, ZERO UP-LIGHT (SLDLS4-6-9S-IE-MWR)	---
W-1	21	8'-0" AFF	SINGLE	830	0.900	PROGRESS LIGHTING, UPDOWN LED CYLINDER OUTDOOR LANTERN, BRONZE (P5675-3130K)	---
P2-S	1	25'-0" AFG	SINGLE	9886	0.900	COOPER LIGHTING, LUMARK PREVAL DISCRETE LED AREA/SITE LUMINAIRE, TYPE 2 URBAN, ZERO UP-LIGHT (PRV-PA1-B-740-U-T2U-x-BZ)	KW POLES, SQUARE STRAIGHT STEEL POLE, 23'-0" LENGTH, (SSP25-4-7-6RZ-0M10-10XH)
P3-S	2	25'-0" AFG	SINGLE	9857	0.900	COOPER LIGHTING, LUMARK PREVAL DISCRETE LED AREA/SITE LUMINAIRE, TYPE 3, ZERO UP-LIGHT (PRV-PA1-B-740-U-T3-x-BZ)	KW POLES, SQUARE STRAIGHT STEEL POLE, 23'-0" LENGTH, (SSP25-4-7-6RZ-0M10-10XH)
P3-S	4	25'-0" AFG	SINGLE	7277	0.900	COOPER LIGHTING, LUMARK PREVAL DISCRETE LED AREA/SITE LUMINAIRE, TYPE 3, WITH HOUSE-SIDE SHIELD, ZERO UP-LIGHT (PRV-PA1-B-740-U-T3HSS-x-BZ)	KW POLES, SQUARE STRAIGHT STEEL POLE, 23'-0" LENGTH, (SSP25-4-7-6RZ-0M10-10XH)
P5-WQ	1	25'-0" AFG	SINGLE	10190	0.900	COOPER LIGHTING, LUMARK PREVAL DISCRETE LED AREA/SITE LUMINAIRE, TYPE 5 SQUARE WIDE, ZERO UP-LIGHT (PRV-PA1-B-740-U-5WQ-x-BZ)	KW POLES, SQUARE STRAIGHT STEEL POLE, 23'-0" LENGTH, (SSP25-4-7-6RZ-0M10-10XH)
P3-D	3	25'-0" AFG	BACK-BACK	9857	0.900	COOPER LIGHTING, LUMARK PREVAL DISCRETE LED AREA/SITE LUMINAIRE, TYPE 3, ZERO UP-LIGHT (PRV-PA1-B-740-U-T3-x-BZ)	KW POLES, SQUARE STRAIGHT STEEL POLE, 23'-0" LENGTH, (SSP25-4-7-6RZ-0M2180-10XH)

\*REFER TO ARCHITECTURAL PLANS FOR FINAL LOCATION AND MOUNTING HEIGHT

**CALCULATION SUMMARY**

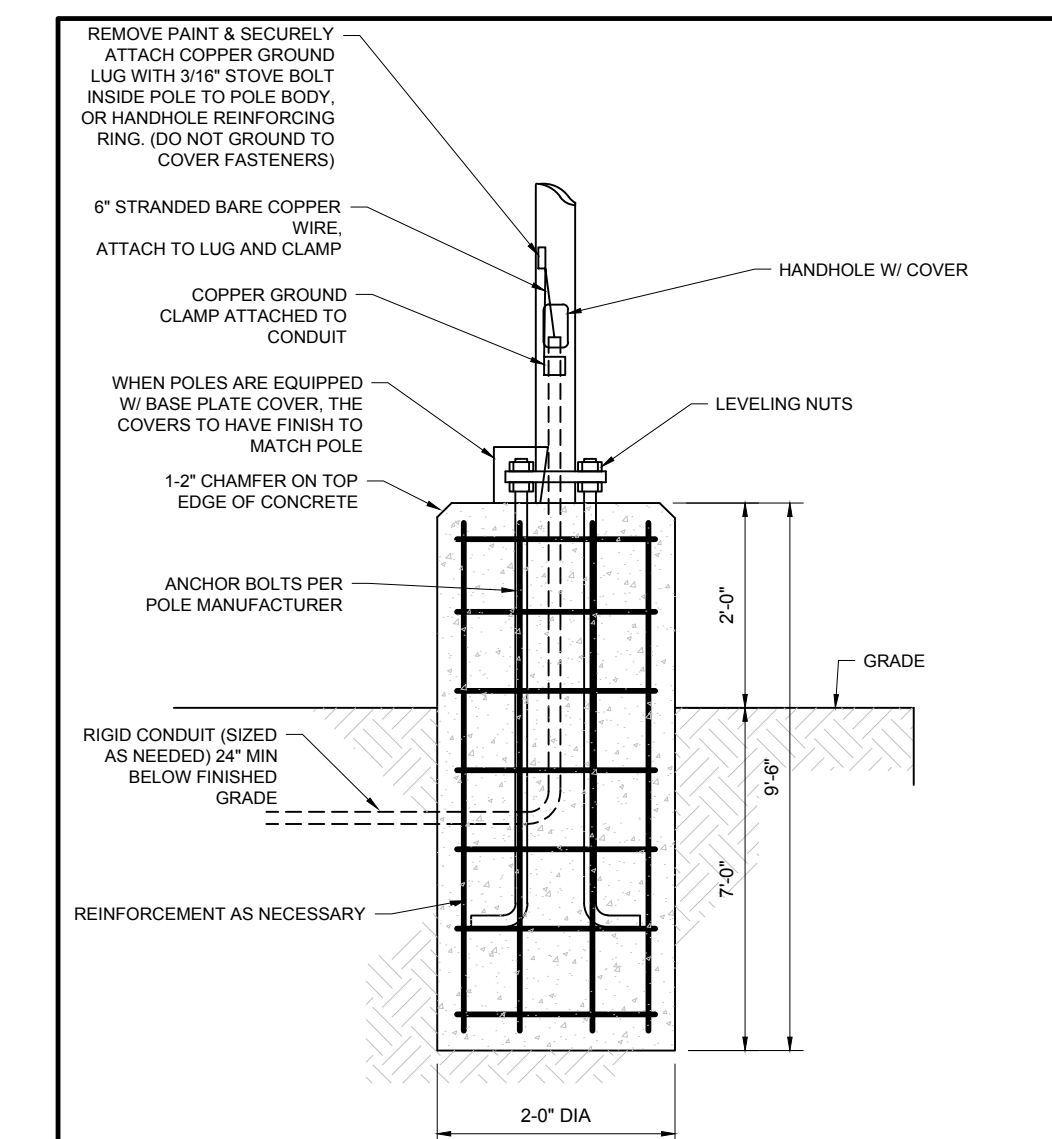
LABEL	CALCTYPE	UNITS	AVG	MAX	MIN	AVGMIN	MAXMIN
ALL POINTS	ILLUMINANCE	FC	0.83	48.9	0.0	N.A.	N.A.
DRIVE THRU	ILLUMINANCE	FC	1.97	12.9	0.7	2.81	18.43
ENTRANCE DRIVE	ILLUMINANCE	FC	1.70	2.5	0.6	2.83	4.17
ORDER POINT CANOPY	ILLUMINANCE	FC	30.87	48.9	13.5	2.29	3.62
OUTSIDE MEAL DELIVERY CANOPY	ILLUMINANCE	FC	20.86	46.1	3.9	5.35	11.82
PARKING	ILLUMINANCE	FC	1.99	3.8	0.6	3.32	6.33

**CITY OF WORCESTER, MASSACHUSETTS  
LIGHTING REQUIREMENTS**

SECTION	REQUIREMENTS	CALCULATIONS/PROPOSED
ARTICLE IV: USE REGULATIONS: SECTION 7: OFF-STREET PARKING AND LOADING	A. GENERAL PROVISIONS FOR OFF-STREET ACCESSORY PARKING AND LOADING 3. DESIGN STANDARDS ALL LIGHTING USED TO ILLUMINATE ANY OFF-STREET PARKING OR LOADING FACILITY SHALL BE INSTALLED SO THAT RAYS FROM SUCH LIGHTING SHALL NOT CAUSE A PUBLIC NUISANCE TO ADJACENT PROPERTY.	PROVIDED

**MASSACHUSETTS LIGHTING NOTES**

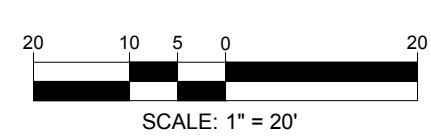
- THE GENERAL NOTES MUST BE INCLUDED AS PART OF THIS ENTIRE DOCUMENT PACKAGE AND ARE PART OF THE CONTRACT DOCUMENTS. THE GENERAL NOTES ARE REFERENCED HEREIN, AND THE CONTRACTOR MUST REFER TO THEM AND FULLY COMPLY WITH THESE NOTES, IN THEIR ENTIRETY. THE CONTRACTOR MUST BE FAMILIAR WITH AND ACKNOWLEDGE FAMILIARITY WITH ALL OF THE GENERAL NOTES AND ALL OF THE PLANS' SPECIFIC NOTES.
- THIS LIGHTING PLAN DEPICTS PROPOSED SUSTAINABLE ILLUMINATION LEVELS CALCULATED USING DATA PROVIDED BY THE NOTED MANUFACTURER(S). ACTUAL SUSTAINABLE SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, THE SERVICE LIFE OF EQUIPMENT AND LUMINAIRES AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- THE LIGHT LOSS FACTORS (LLF) DEPICTED IN THE LUMINAIRE SCHEDULE ON THIS PLAN ARE BASED ON DATA PROVIDED BY THE MANUFACTURER FOLLOWING IES LM-80-08 TESTING. THE LIGHT LEVELS DEPICTED ON THIS PLAN WERE CALCULATED BASED ON THE LLF LISTED IN THE LUMINAIRE SCHEDULE.
- THE LIGHTING VALUES AND CALCULATION POINTS DEPICTED ON THIS PLAN ARE ALL ANALYZED ON A HORIZONTAL GEOMETRIC PLANE AT ELEVATION ZERO (GROUND LEVEL) UNLESS OTHERWISE NOTED. THE VALUES DEPICTED ON THIS PLAN ARE IN FOOT-CANDLES (FC).
- THE LUMINAIRES, LAMPS AND LENSES MUST BE REGULARLY INSPECTED/MAINTAINED TO ENSURE THAT THEY FUNCTION PROPERLY. THIS WORK SHOULD INCLUDE, BUT NOT LIMITED TO, VISUAL OBSERVATION, CLEANING OF LENSES, AND RE-LAMPING (IF NECESSARY) ACCORDING TO MANUFACTURER RECOMMENDATIONS. FAILURE TO FOLLOW THE ABOVE STEPS COULD RESULT IN IMPROPER LIGHT DISTRIBUTION AND FAILURE TO COMPLY WITH THE APPROVED DESIGN. UPON COMPLETION AND OWNER'S ACCEPTANCE OF THE WORK, THE ABOVE RESPONSIBILITY BECOMES SOLELY THE OWNER'S.
- WHERE APPLICABLE, THE EXISTING CONDITION LIGHT LEVELS ILLUSTRATED ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES, UNLESS ACTUAL FIELD MEASUREMENTS ARE TAKEN WITH A LIGHT METER AND ARE, CONSEQUENTLY, APPROXIMATIONS ONLY. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC. ACTUAL LIGHT LEVELS MAY DIFFER. EXISTING LIGHT LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE.
- THIS LIGHTING PLAN IS INTENDED TO SHOW THE LOCATIONS AND TYPE OF LUMINAIRES, ONLY. POWER SYSTEM, CONDUITS, WIRING, VOLTAGES AND OTHER ELECTRICAL COMPONENTS ARE THE RESPONSIBILITY OF THE ARCHITECT, MEP AND/OR LIGHTING CONTRACTOR, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS. LIGHT POLE BASES ARE THE RESPONSIBILITY OF THE STRUCTURAL ENGINEER, AS INDICATED IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONTRACTOR IS RESPONSIBLE FOR INSTALLING LIGHTING FIXTURES AND APPROPRIATELY IN ACCORDANCE WITH ALL APPLICABLE BUILDING AND ELECTRICAL CODES AND ALL OTHER APPLICABLE RULES, REGULATIONS, LAWS AND STATUTES.
- CONTRACTOR MUST BRING TO DESIGNER'S ATTENTION, PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, ANY LIGHT LOCATIONS THAT CONFLICT WITH DRAINAGE, UTILITIES, OR OTHER STRUCTURES.
- IT IS THE LIGHTING CONTRACTOR'S RESPONSIBILITY TO COORDINATE WITH THE PROJECT ARCHITECT OR OWNER REGARDING ANY AND ALL POWER SOURCES, AND TIMING NECESSARY TO MEET THE DESIGN INTENT. THESE ITEMS MUST BE INSTALLED AS REQUIRED BY STATE AND LOCAL REGULATIONS.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SHIELDING AND/OR ROTATED OPTICS ARE INSTALLED AS INDICATED ON THE PLAN IN ORDER TO ACHIEVE THE INTENT OF THE REVIEWING AGENCY APPROVAL.
- THE LIGHTING CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CONTRACTOR REQUIREMENTS INDICATED IN THE SITE PLAN, INCLUDING BUT NOT LIMITED TO, GENERAL NOTES, GRADING AND UTILITY NOTES, SITE SAFETY, AND ALL GOVERNMENTAL RULES, LAWS, ORDINANCES, REGULATIONS AND THE LIKE.
- THE CONTRACTOR MUST VERIFY THAT INSTALLATION OF LIGHTING FIXTURES COMPLIES WITH THE REQUIREMENTS FOR SEPARATION FROM OVERHEAD ELECTRICAL WIRES PER STATE REGULATIONS.
- WHEN A BANK ATM IS INCLUDED IN THE PLAN, THE LIGHTING DESIGN REPRESENTS BOHLER'S UNDERSTANDING AND INTERPRETATION OF THE REGULATORY LIGHTING LEVELS INTENDED BY PUBLISHED STANDARDS.
- UPON OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT, THE OWNER SHALL BE RESPONSIBLE FOR ALL MAINTENANCE, SERVICING, REPAIR AND INSPECTION OF THE LIGHTING SYSTEM AND ALL OF ITS COMPONENTS AND RELATED SYSTEMS, TO ENSURE ADEQUATE LIGHTING LEVELS ARE PRESENT AND FUNCTIONING AT ALL TIMES.



**LIGHT POLE FOUNDATION**

NOT TO SCALE (PA-101011 - 11/2023)

**THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY**



Chick-fil-A  
5200 Buffington Road  
Atlanta, Georgia 30349-2998

**BOHLER //**  
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**CHICK-FIL-A**  
99 STAFFORD STREET  
WORCESTER, MA

**FSR#05916**  
BUILDING TYPE / SIZE: P14-LS-BN  
RELEASE:

NO.	DATE	DESCRIPTION

CONSULTANT PROJECT #	MAA240159.00
PRINTED FOR	ISSUED FOR PERMIT
DATE	10/03/2024
DRAWN BY	AEN
CHECKED BY	JNF
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SHEET	<b>LIGHTING PLAN</b>
SHEET NUMBER	

**LIGHTING PLAN**

SHEET NUMBER

**T-100**

W:\BOHLER\NET\SHARES\PROJECTS\2024\MAA240159.00\CADD\DRAWINGS\PLAN SETS\CIVIL\SITE PLANS\CIVIL SITE PLANS\CIVIL LIGHTING\MAA240159.00\_...LAYOUT: T-100.LIGHT

PROGRESS LIGHTING

Project:
Fixture Type:
Location:
Contact:

P5675-31 Cylinder

5" up/down cylinder / outdoor lantern in Black, with heavy duty aluminum construction and die cast wall bracket. Powder coated finish. Wet location listed when used with P860045 top cover lens.

- Black finish
Powder coat finish
Ideal for a wide variety of interior and exterior applications.
Die-cast aluminum wall brackets and heavy duty aluminum framing.
Wet location listed when used with P860045 top cover lens (sold separately).

Category: Outdoor
Finish: Black (powder coat paint)
Construction: cast aluminum construction

Width: 5 in
Height: 14 in
Depth: 7 7/8 in
H/CTR: 7 in

Table with 4 columns: MOUNTING, ELECTRICAL, LAMPING, ADDITIONAL INFORMATION. Includes details on wall mounting, wiring, and warranty.

701 Millennium Blvd, Greenville, South Carolina 29607

www.progresslighting.com

Rev. 07/20

PROGRESS LIGHTING P5675-31 CYLINDER LED WALL SCNCE

NOT TO SCALE

(BE-S020201 - 08/2023)



Scottsdale Legacy (CRUS) LED Canopy Luminaire



OVERVIEW table with columns: Lumen Package (lm), Wattage Range (W), Efficacy Range (LPW), Weight lbs (kg)

QUICK LINKS

- Ordering Guide
Performance
Photometrics
Dimensions

FEATURES & SPECIFICATIONS

Construction

Features a ultra-slim 1/16" profile die-cast housing with flat clear or diffused tempered glass lens. Unit is water-resistant, sealed and IP66 rated.

Standard color is white and is finished with LSI's DuraGrip® polyester powder coat process. DuraGrip withstands extreme weather changes without cracking or peeling.

Luminaire assembly incorporates a pressure stabilizing vent breather to prevent seal fatigue and failure.

Optical System

Features an array of select, mid-power, high brightness, high efficiency LED: 3000K, 4000K, 5000K color temperature, 80 CRI (nominal).

Choice of Symmetric or Asymmetric distribution. Asymmetric provides a wider distribution pattern. Optional symmetric with diffused lens also available.

Forward Throw distribution provides an industry leading unique distribution pattern that illuminates the area under the gas canopy and beyond.

Diffuse lens available as an option to soften brightness of the luminaire.

Electrical

High performance factory programmable driver features over-voltage, under-voltage, short-circuit and over temperature protection with integral 6kV surge protection that meets IEEE C62.41.2 and ANSI C82.77-5 Location Category C Low standards.

Driver components are fully enclosed in potting for moisture resistance. Complies with IEC and FCC standards. 0-10 V dimming supplied standard with all drive currents.

Die-cast aluminum, wet location rated driver/electrical enclosure is elevated above canopy deck to prevent water entry.

Universal voltage power supply: 120-277 VAC, 50/60 HZ and 347-480 VAC, 50/60 HZ input.

-40°C to 55°C (-40°F to 131°F) ambient operating temperature. (Varies based on lumen package and mounting style see performance data for specifics.)

Minimum 60,000 to 100,000 hours depending upon the ambient temperature of the installation location (see performance data for specifics.)

Hazardous Location

Designed for lighter than air fuel applications. Product is suitable for Class I Divisions 2 only when properly installed per LSI installation instructions.

Installs in a 12" or 16" deck pan. Deck penetration consists of a 4" hole, simplifying installation and water sealing.

Retro panels are available for existing Encores as well as kits for recessed and 2x2 installations (see separate spec sheets). Support brackets are provided standard, to prevent sagging of deck.

Warranty

LSI luminaires carry a 5-year limited warranty. Refer to https://www.lsicorp.com/resources/terms-conditions-warranty/ for more information.

Listings

UL and ETL listed to UL 1598, UL 8750 and other U.S. and International safety standards. Suitable for wet locations.

DesignLights Consortium (DLC) Premium qualified product. Not all versions of this product may be DLC Premium qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

LSI Industries Inc. 10000 Alliance Rd, Cincinnati, OH 45242 • (513) 372-3200 • www.lsicorp.com

Page 1/5 Rev. 01/05/23 SPEC.3020.C.0123

LSI SCOTTSDALE LEGACY (CRUS) LED CANOPY LUMINAIRE

NOT TO SCALE

(BE-S020201 - 08/2023)

Table with 3 columns: Project, Catalog #, Type, Prepared by, Notes, Date

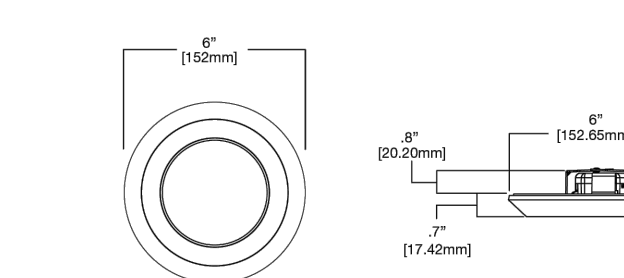


HALO SLDL4 Series 4" Surface LED Downlight Selectable color temperature

- Interactive Menu
Order Information page 2
Product Specification page 4
Photometric Data page 5
Product Warranty

- Top Product Features
Ultra-low profile surface luminaire with wide distribution
Ceiling mounting in compatible junction boxes
Retrofit 4" recessed downlights with screwbase adapter (sold separately)
Dimmable with 120V dimmer

Dimensional and Mounting Details



COOPER Lighting Solutions

PS18177EN page 1 March 08, 2022 09:PM

COOPER LIGHTING HALO SLDL4 SERIES LED DOWNLIGHT

NOT TO SCALE

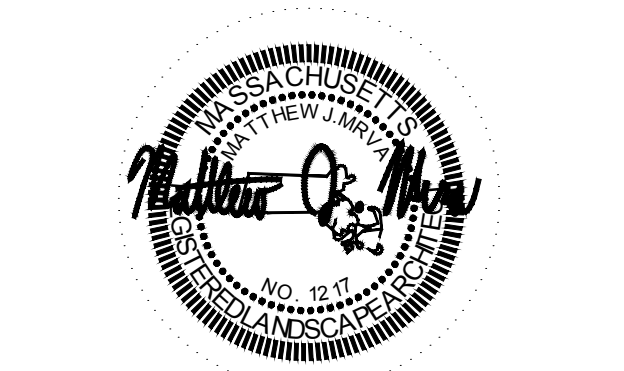
(BE-S020201 - 08/2023)



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CHICK-FIL-A 99 STAFFORD STREET WORCESTER, MA

FSR#05916 BUILDING TYPE / SIZE: P14-LS-BN RELEASE:

Table with 3 columns: NO., DATE, DESCRIPTION. Includes revision schedule and consultant project information.

ISSUED FOR PERMIT LIGHTING NOTES AND DETAILS SHEET NUMBER

D

C

B

A

W:\BOHLER\NET\SHARES\MA-PROJECTS\2023\02\4MAZ46159-00\CADD\DRAWINGS\PLAN SET\B\CIVIL\SITE PLAN\SSP-CYL-LED-LIGHT-MAA240159-00-0A-LAYOUT-T-101.LIGHT

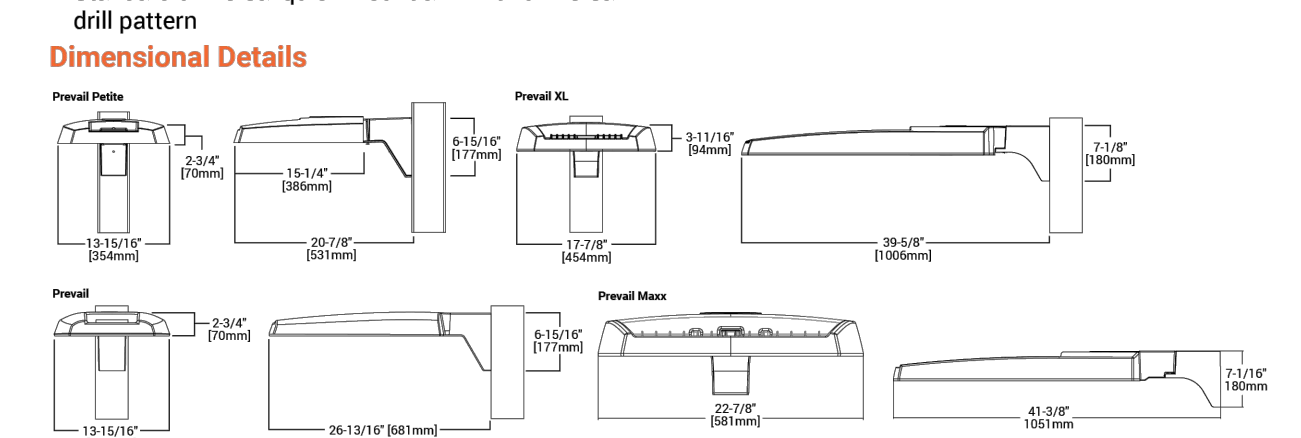
Table with 3 columns: Project, Catalog #, Type, Prepared by, Notes, Date



Lumark Prevail LED Area / Site Luminaire Product Features

- Interactive Menu
Ordering Information page 2
Mounting Details page 3, 4
Optical Configurations page 5
Product Specifications page 5
Energy and Performance Data page 6, 7
Control Options page 8

- Quick Facts
Lumen packages range from 4,800 - 84,000 lumens (35W - 588W)
Replaces 70W up to 1,000W HID equivalents
Efficacies up to 160 lumens per watt
Energy and maintenance savings up to 85% versus HID solutions
Standard universal quick mount arm with universal drill pattern



NOTES: 1. See www.cooperlighting.com for details on product qualifications. Not all product variations are DLC qualified. 2. See Catalog for 3000K CCT and warmer only.

COOPER Lighting Solutions PS000011N page 1 June 15, 2022 7:52 PM

COOPER LUMARK PFPV PREVAIL LED AREA LUMINAIRE

NOT TO SCALE

(BE-S020201 - 08/2023)

SSP Square Non-Tapered Steel Poles

PROJECT NAME: SSP25 - 4 - 7 - BRZ - DM10 - 1XHH GENERATION DATE: 9/25/2024

CATALOG NUMBER: SSP25 - 4 - 7 - BRZ - DM10 - 1XHH

Technical drawing of the SSP Square Non-Tapered Steel Pole showing dimensions (A-F), shaft details, mounting designation, finish, hand hole, base plate, and anchor bolts.

COMMENTS: KW INDUSTRIES, INC. | 909 INDUSTRIAL BLVD, SUGAR LAND, TEXAS 77478 | 1-800-275-5944 | KWINDUSTRIES.COM AREA LIGHTING SSP | Square Non-Tapered Steel Pole | PAGE 1 OF 2

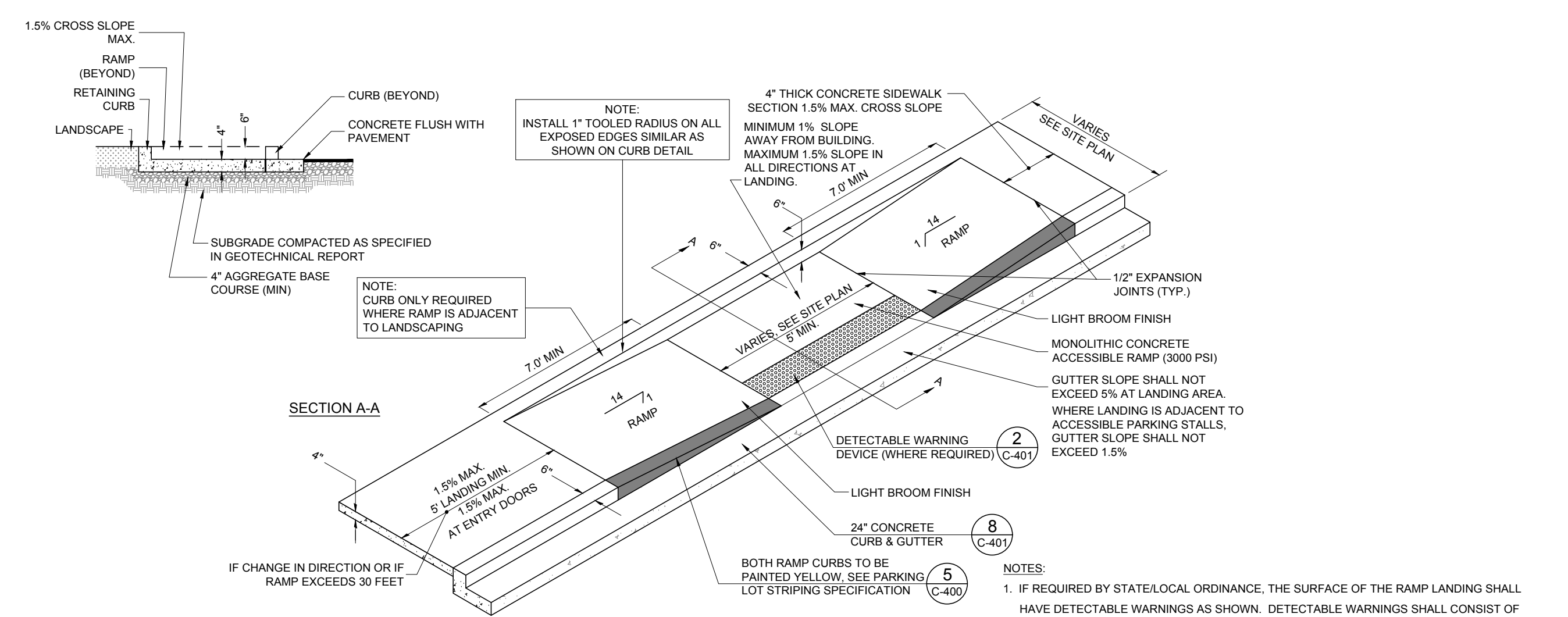
KW SSP SQUARE NON-TAPERED STEEL POLE

NOT TO SCALE

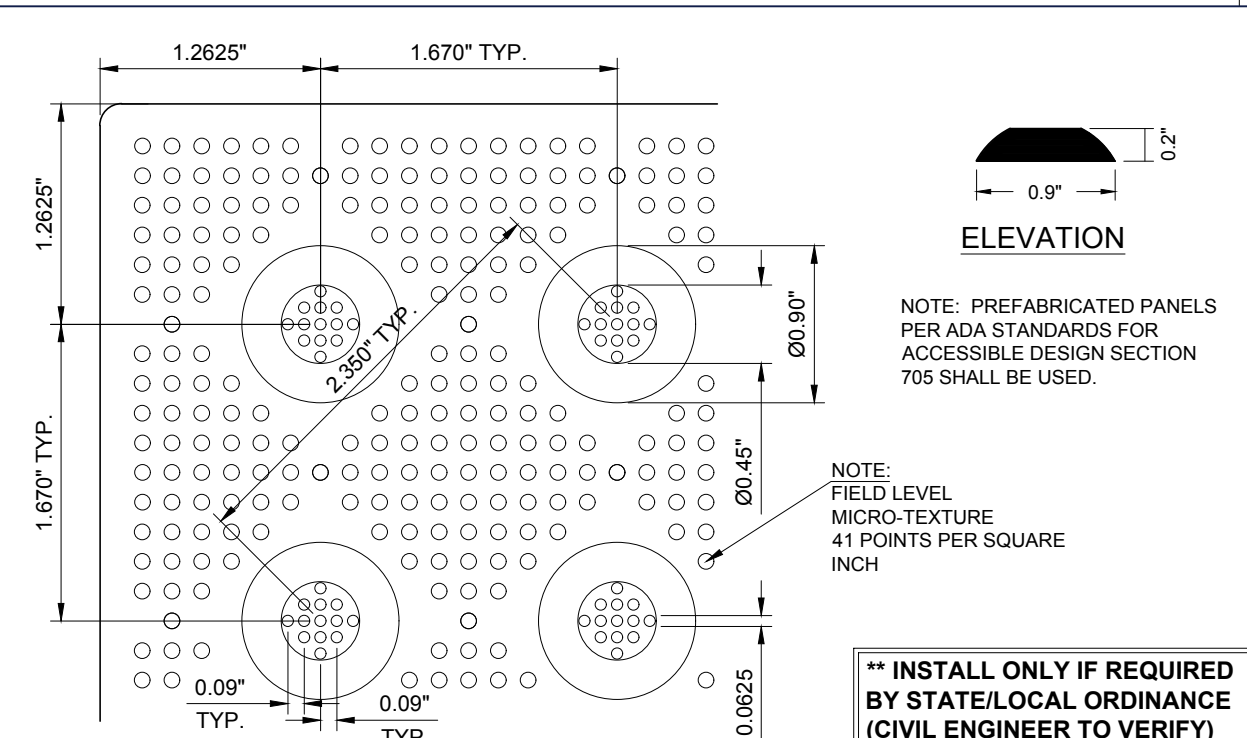
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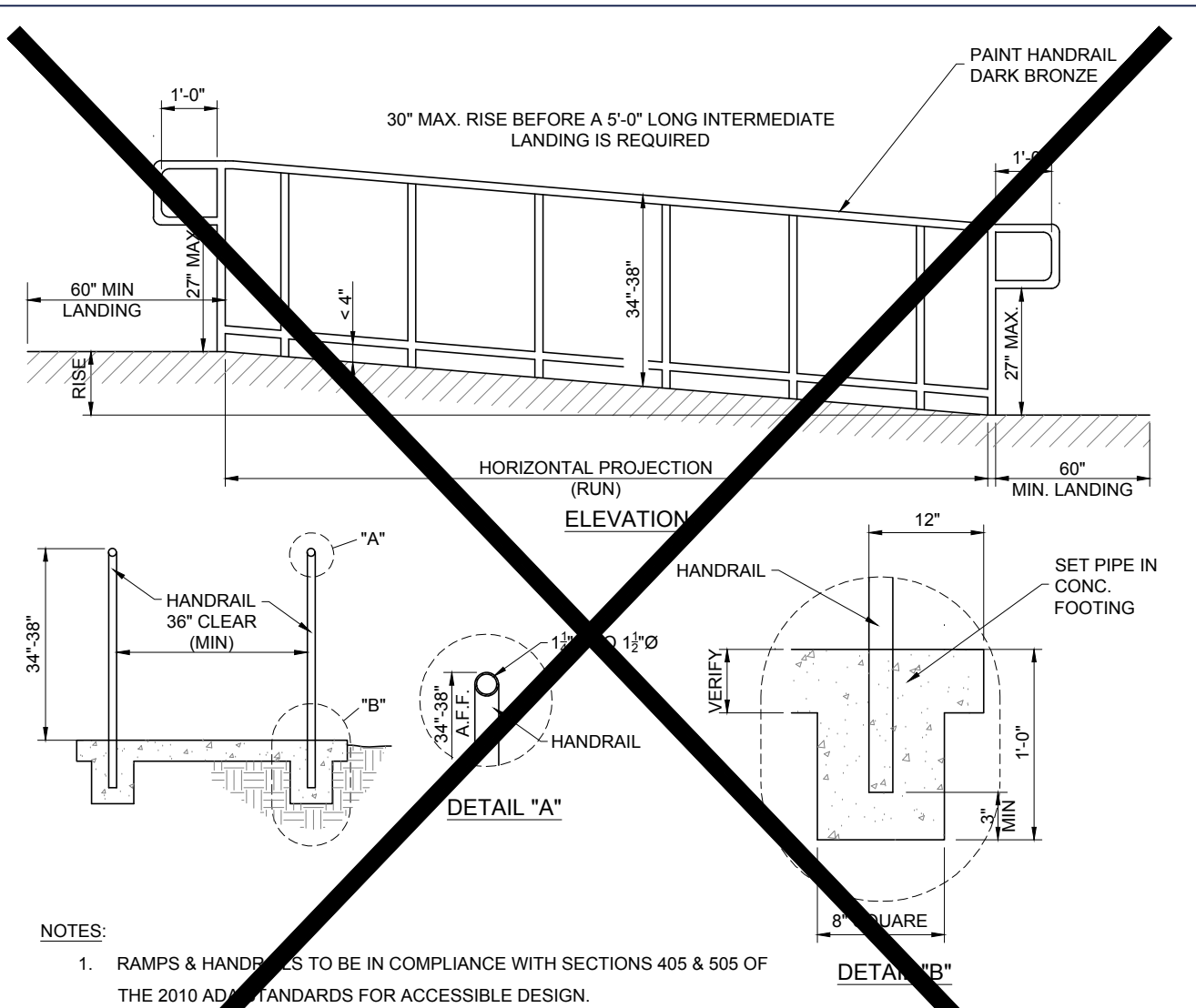
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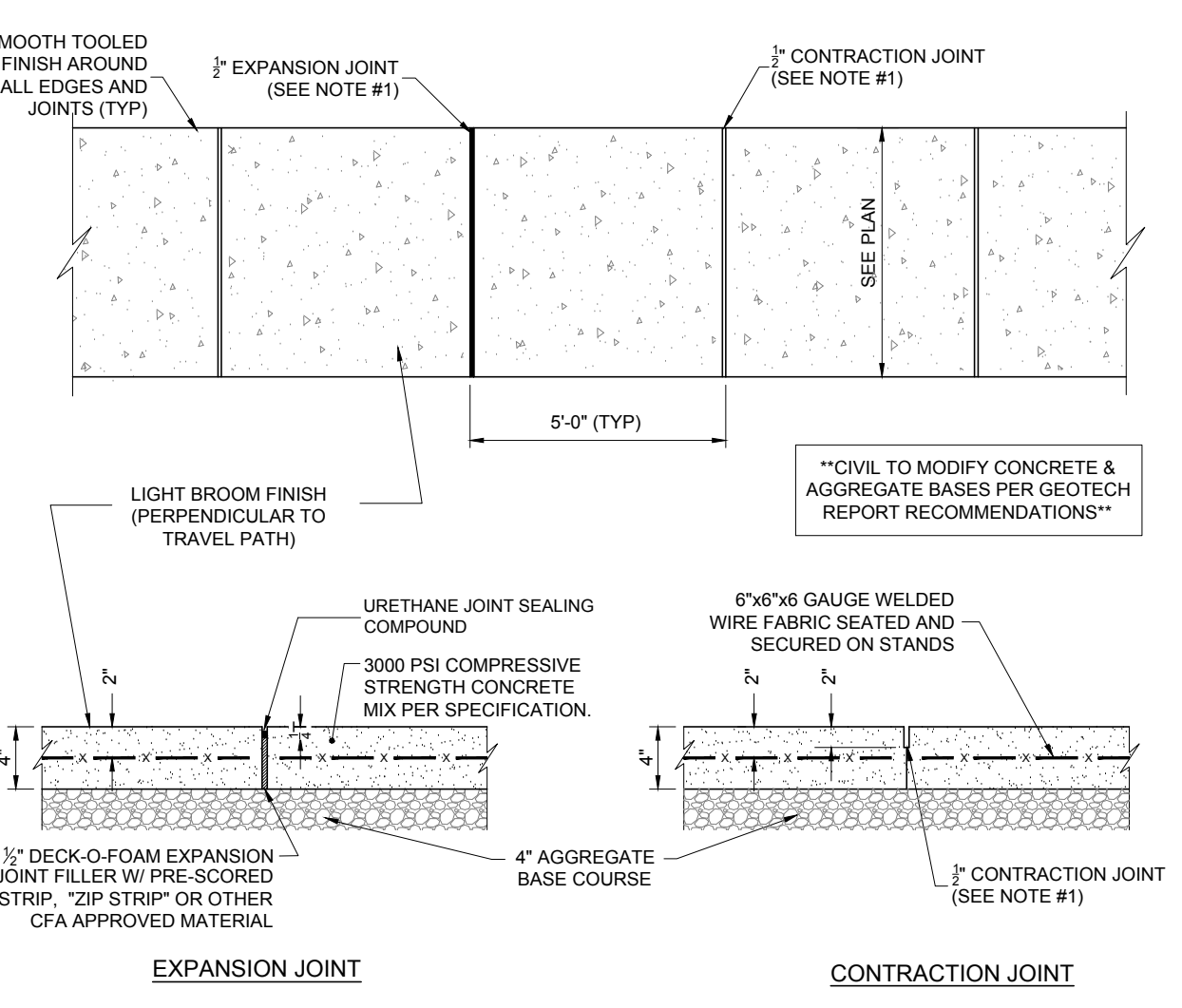
1 SIDEWALK ACCESSIBLE RAMP  
C-401 NOT TO SCALE



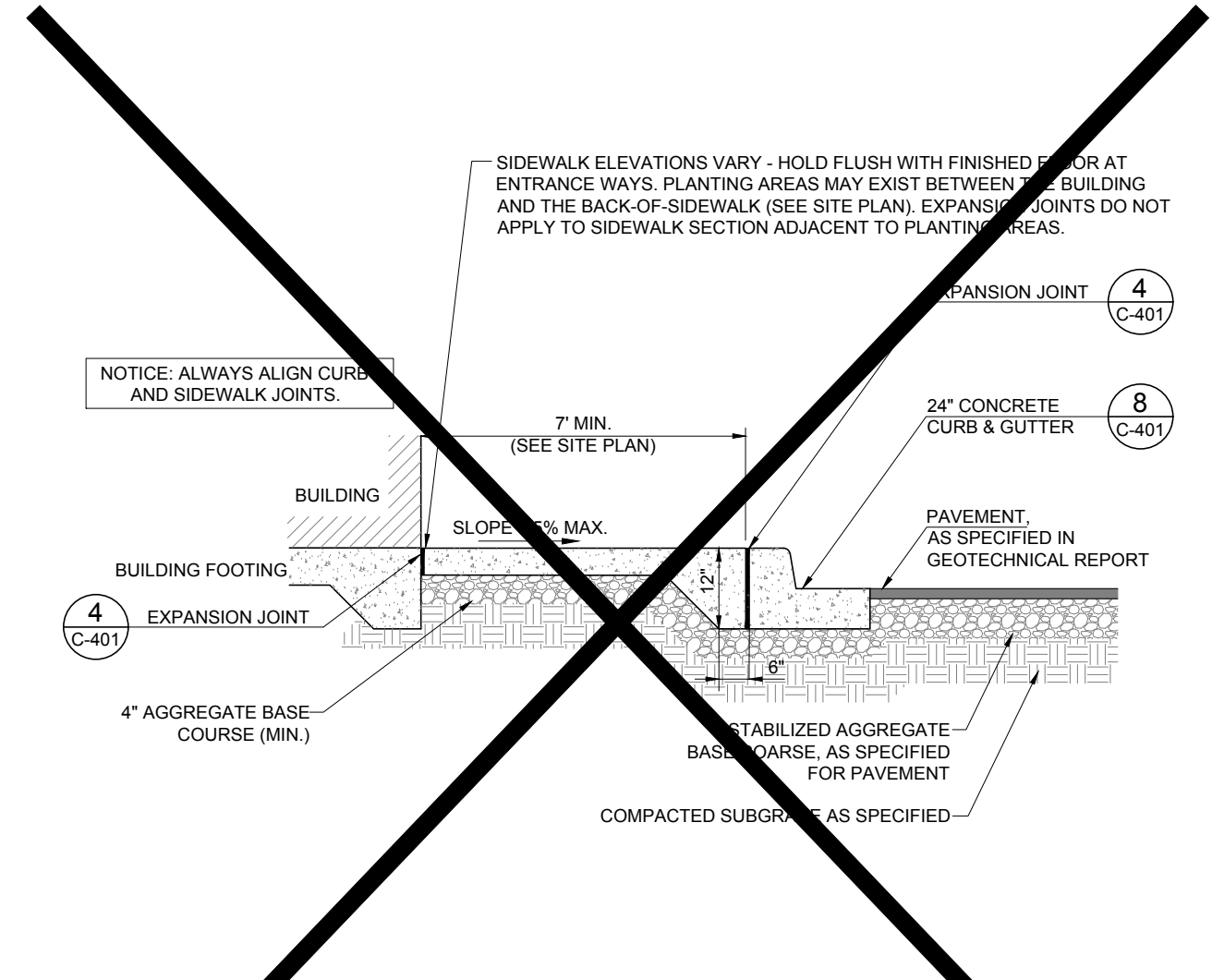
2 DETECTABLE WARNING DEVICE  
C-401 NOT TO SCALE



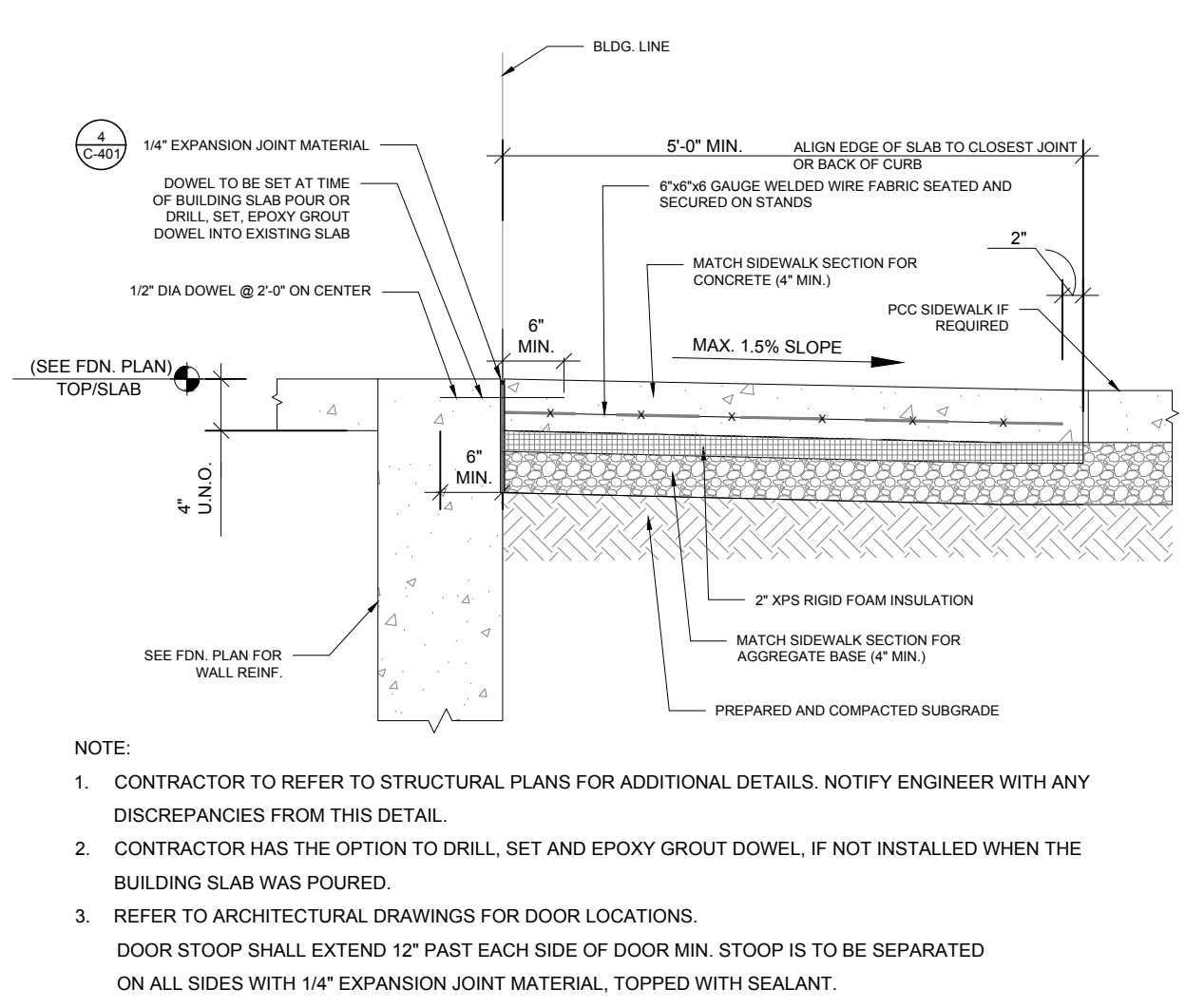
3 TYPICAL ADA RAMP & HANDRAIL  
C-401 NOT TO SCALE



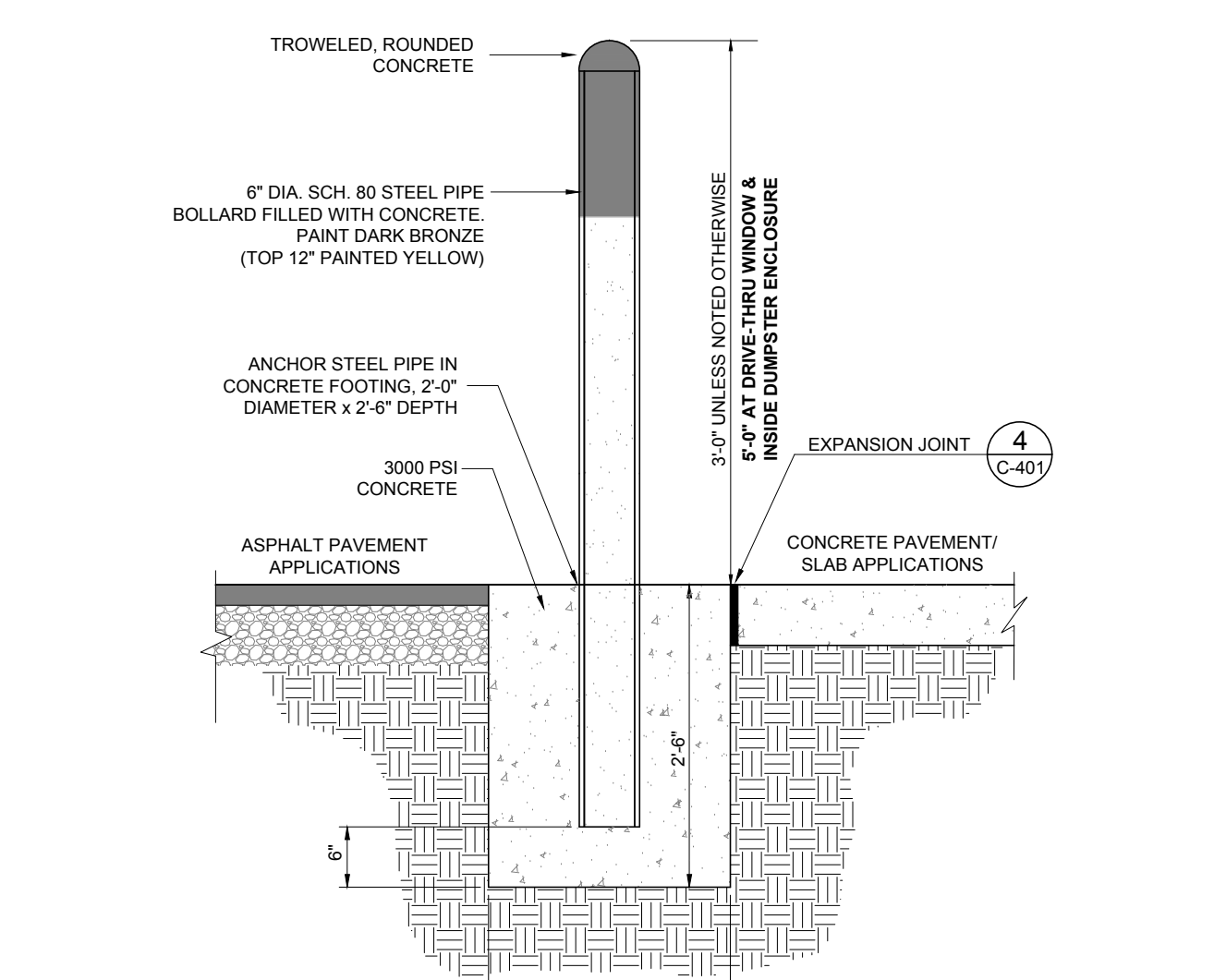
4 CONCRETE SIDEWALK  
C-401 NOT TO SCALE



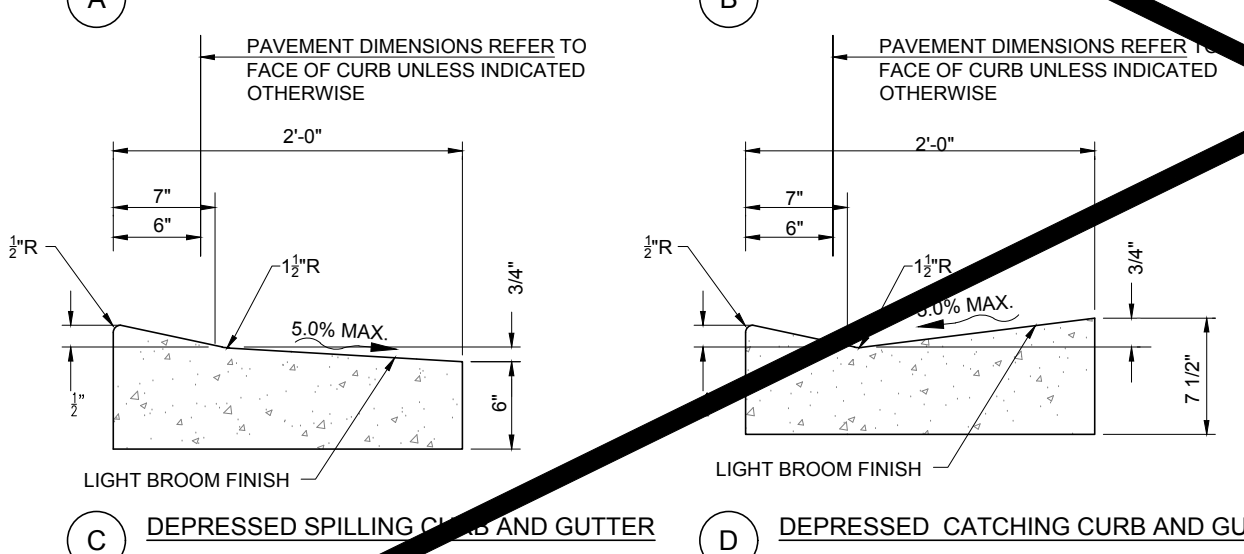
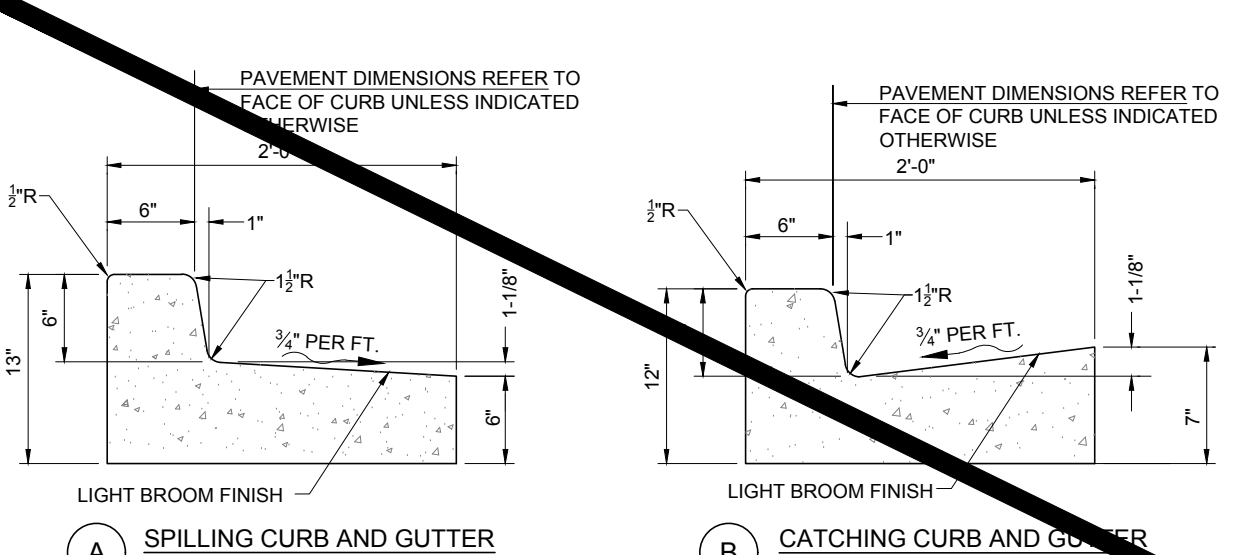
5 CONCRETE SIDEWALK w/ CURB & GUTTER  
C-401 NOT TO SCALE



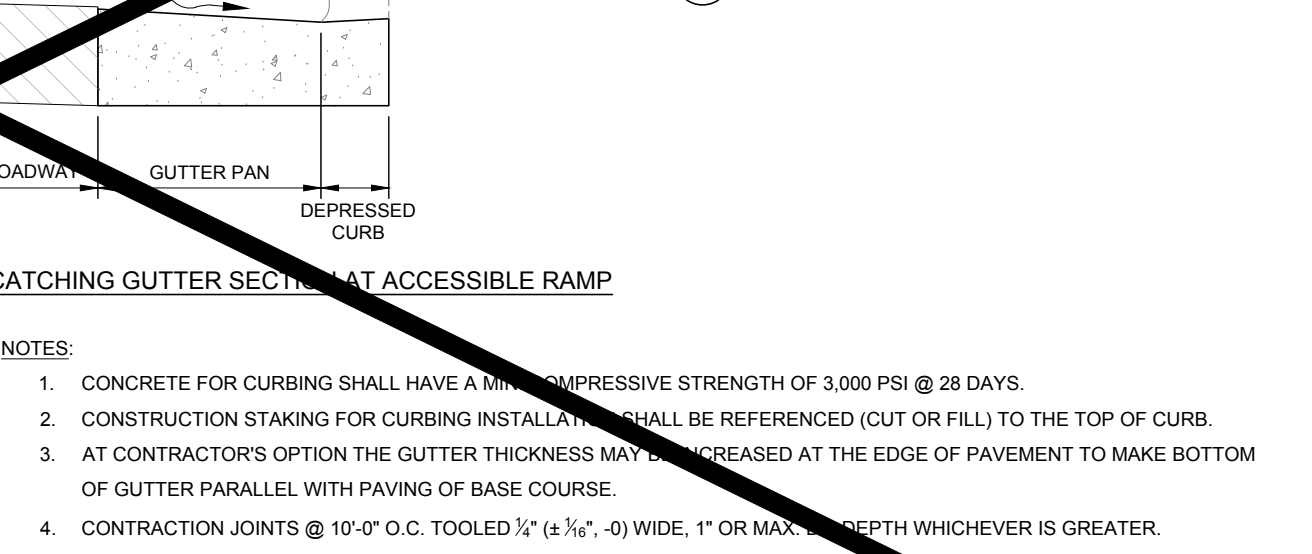
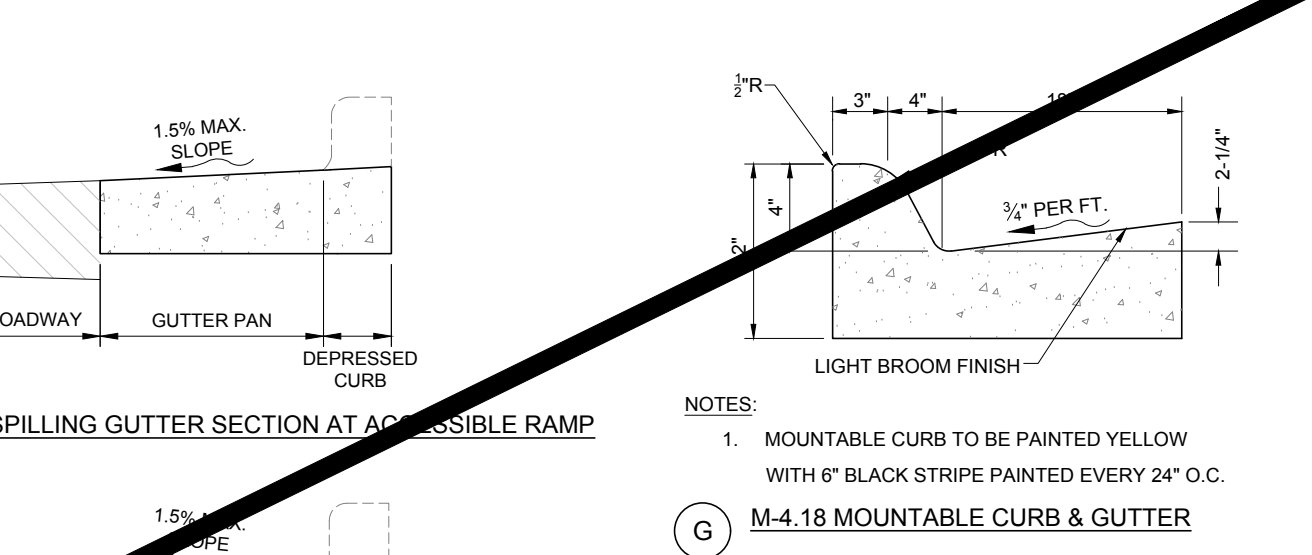
6 ENTRY DOOR FROST SLAB DETAIL  
C-401 NOT TO SCALE



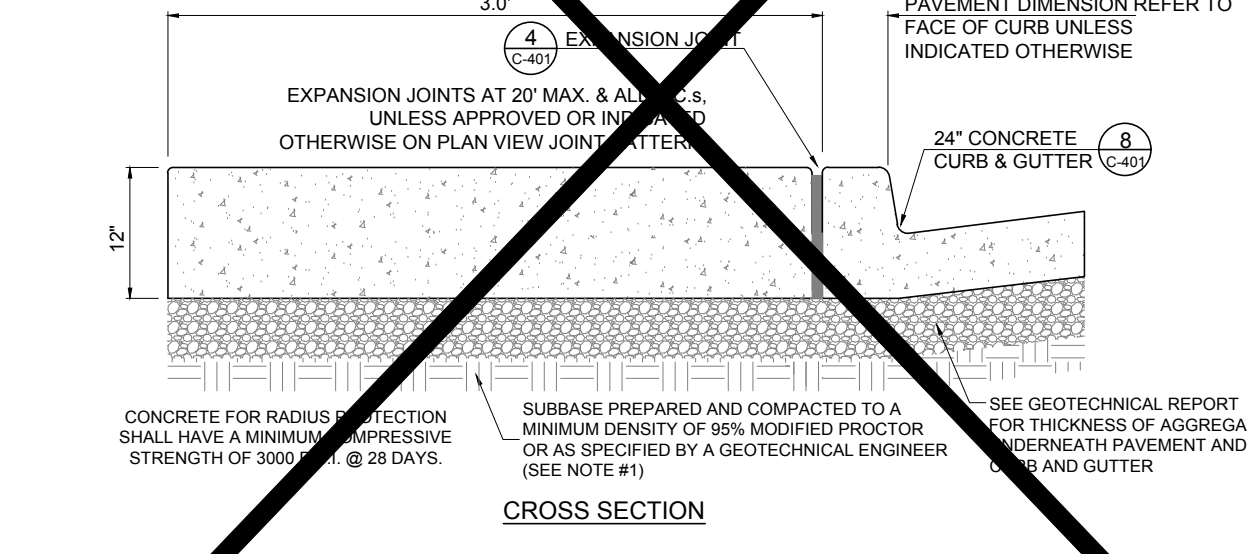
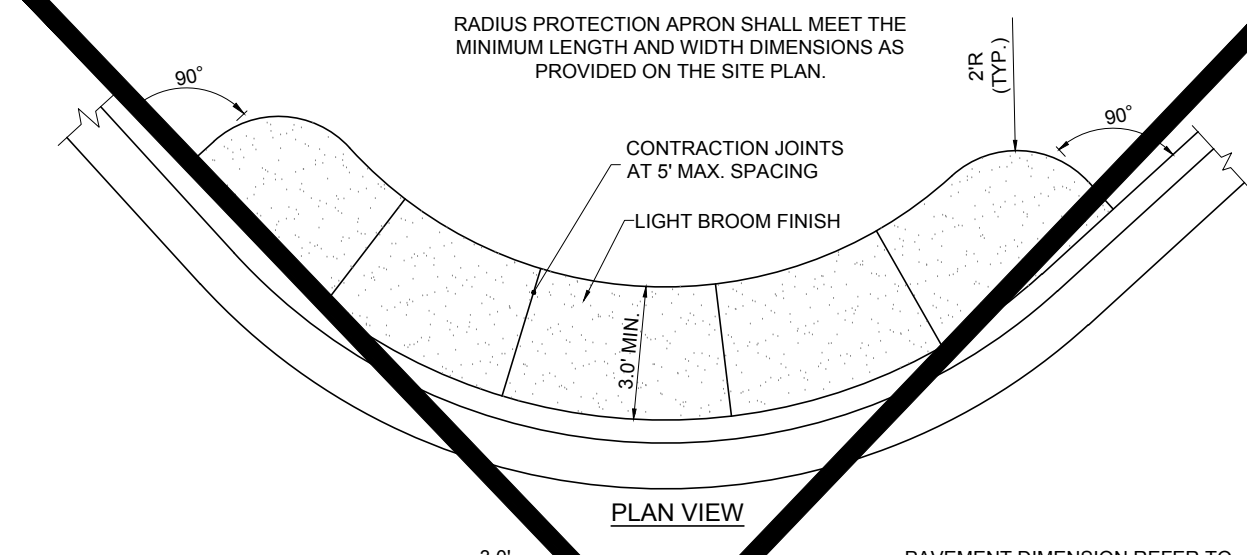
7 CONCRETE BOLLARD  
C-401 NOT TO SCALE



8 CONCRETE CURB & GUTTER  
C-401 NOT TO SCALE



9 CONCRETE CURB & GUTTER  
C-401 NOT TO SCALE



10 LANDSCAPE & IRRIGATION PROTECTOR  
C-401 NOT TO SCALE



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Atlanta, Georgia 30349-2998

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99 STAFFORD STREET  
WORCESTER, MA

**FSR#05916**  
BUILDING TYPE / SIZE: P14-LS-BN  
RELEASE:

REVISION SCHEDULE

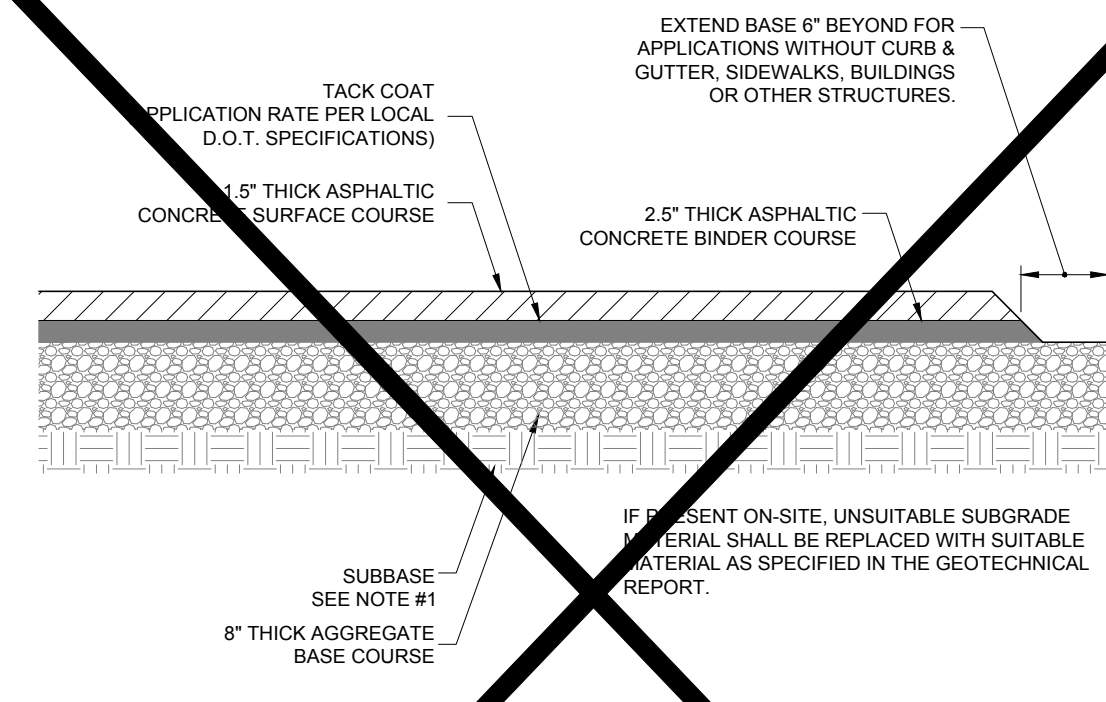
NO.	DATE	DESCRIPTION

ISSUED FOR PERMIT

CONSULTANT PROJECT # MAA240159.00  
PRINTED FOR ISSUED FOR PERMIT  
DATE 10/03/2024  
DRAWN BY AEH  
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SHEET SITE DETAILS

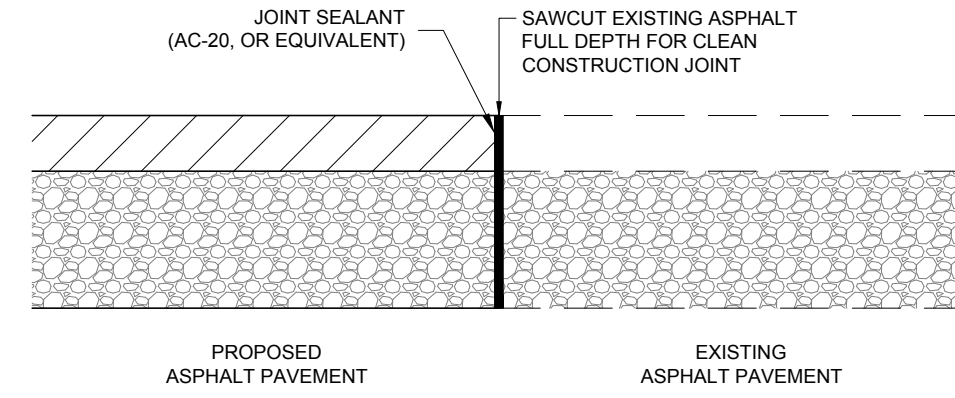
SHEET NUMBER  
**C-401**

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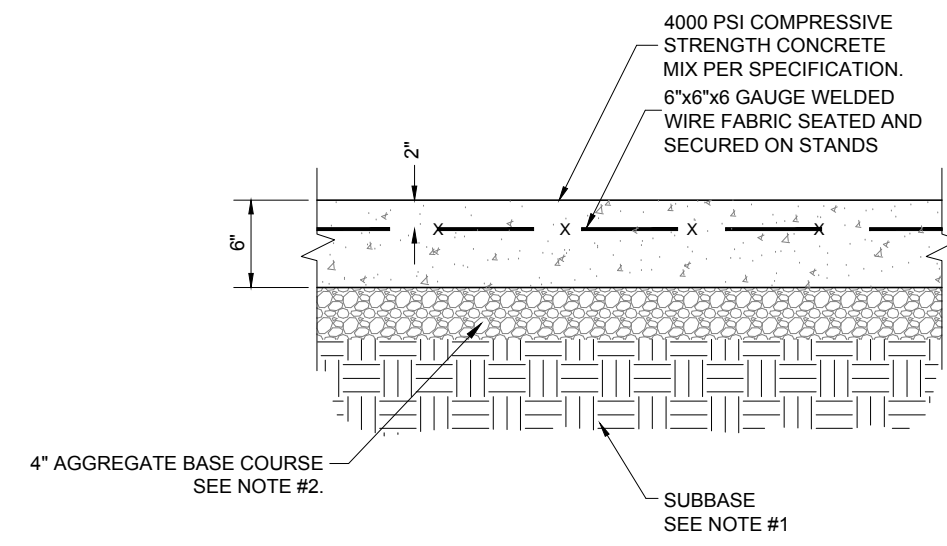


- NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE SITE SPECIFIC GEOTECHNICAL REPORT FOR PAVEMENT, AGGREGATE, AND SUBGRADE SECTION REQUIREMENTS.
  2. MINIMUM PAVEMENT THICKNESS SHOULD BE 6\"/>

**1** TYPICAL HMAC PAVEMENT SECTION  
C-402 NOT TO SCALE

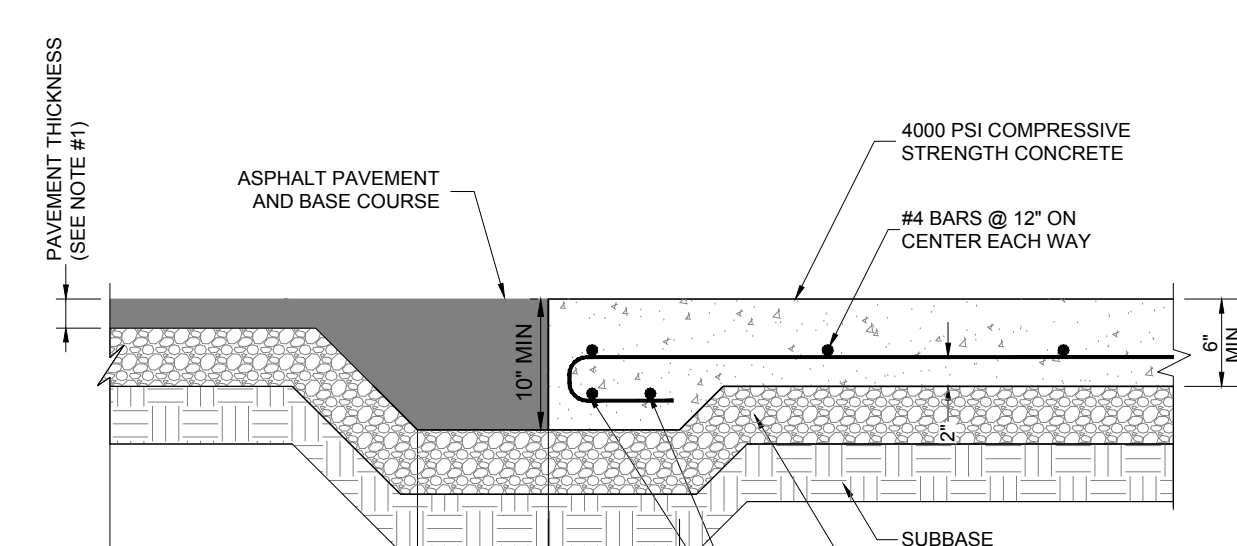


**2** BUTT JOINT  
C-402 NOT TO SCALE



- NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.
  2. MINIMUM PAVEMENT THICKNESS SHALL BE 6\"/>

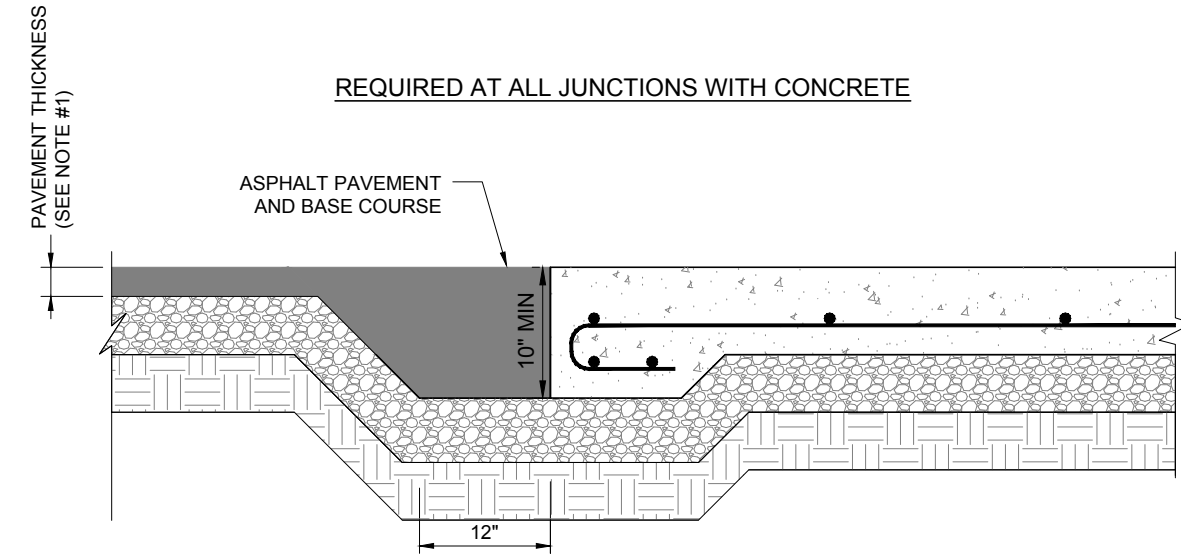
**3** CONCRETE PAVEMENT DRIVE-THRU LANE  
C-402 NOT TO SCALE



- NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

**4** CONCRETE APRON AT TRASH ENCLOSURE  
C-402 NOT TO SCALE

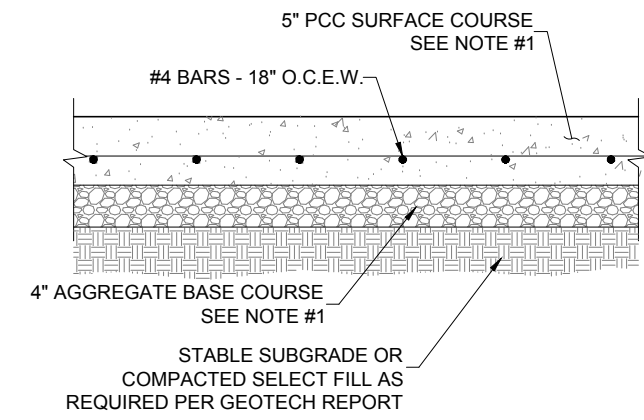
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- NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

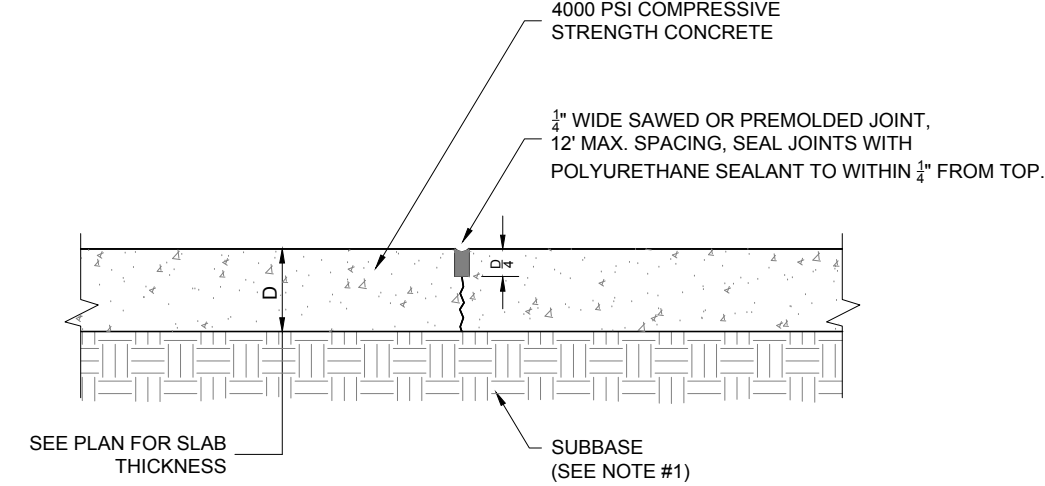
**5** PAVEMENT EDGE DETAIL (START & END OF DRIVE-THRU LANES)  
C-402 NOT TO SCALE

- NOTES:
1. DESIGN PER GEOTECH REPORT PREPARED BY \_\_\_\_\_ DATED \_\_\_\_\_
  2. PAVEMENTS & SUBGRADES INCLUDING MATERIALS & COMPACTION SHALL MEET STANDARDS & SPECIFICATIONS OF THE GOVERNING DEPARTMENT OF TRANSPORTATION.
  3. JOINTING & SPACING SHALL BE PER CONCRETE JOINT DETAILS.
  4. CONCRETE SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 4,000 PSI @ 28 DAYS.



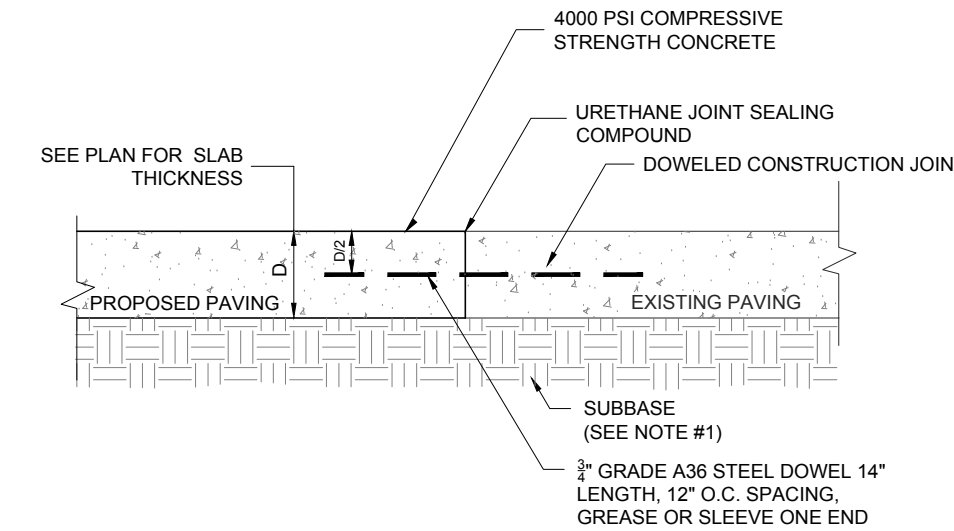
- NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.
  2. MINIMUM PAVEMENT THICKNESS SHALL BE 5\"/>

**6** CONCRETE PAVEMENT  
C-402 NOT TO SCALE



- NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

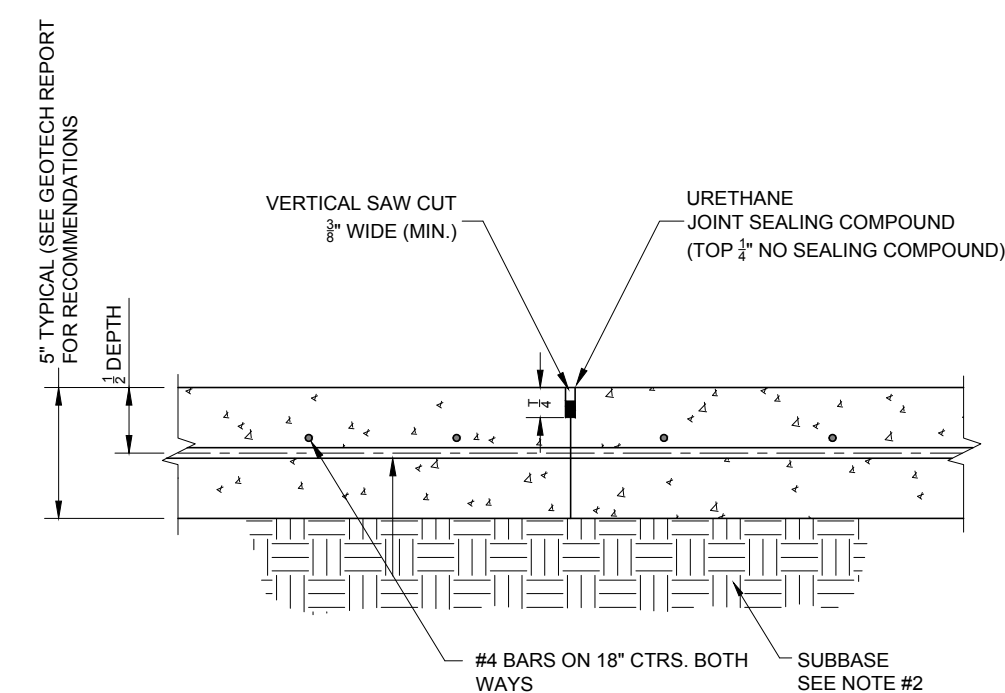
**7** TRANSVERSE AND LONGITUDINAL CONTRACTION JOINT  
C-402 NOT TO SCALE



- NOTE:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

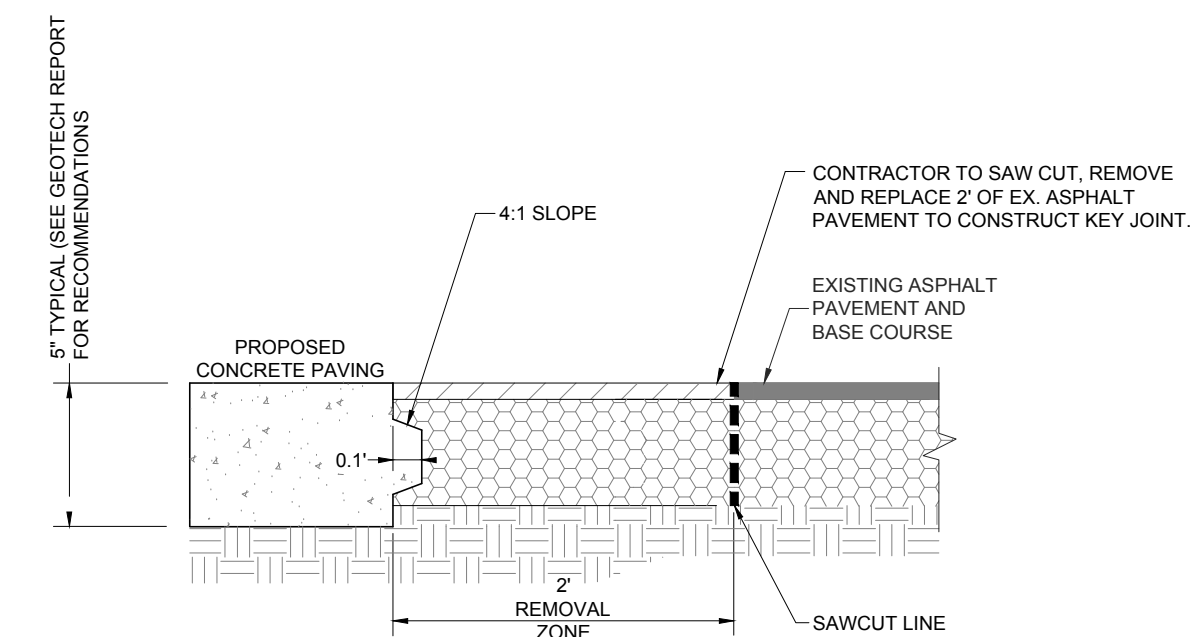
**8** TRANSVERSE AND LONGITUDINAL DOWELED CONSTRUCTION JOINT  
C-402 NOT TO SCALE

THESE DETAILS APPLY TO CONCRETE PAVED LOTS



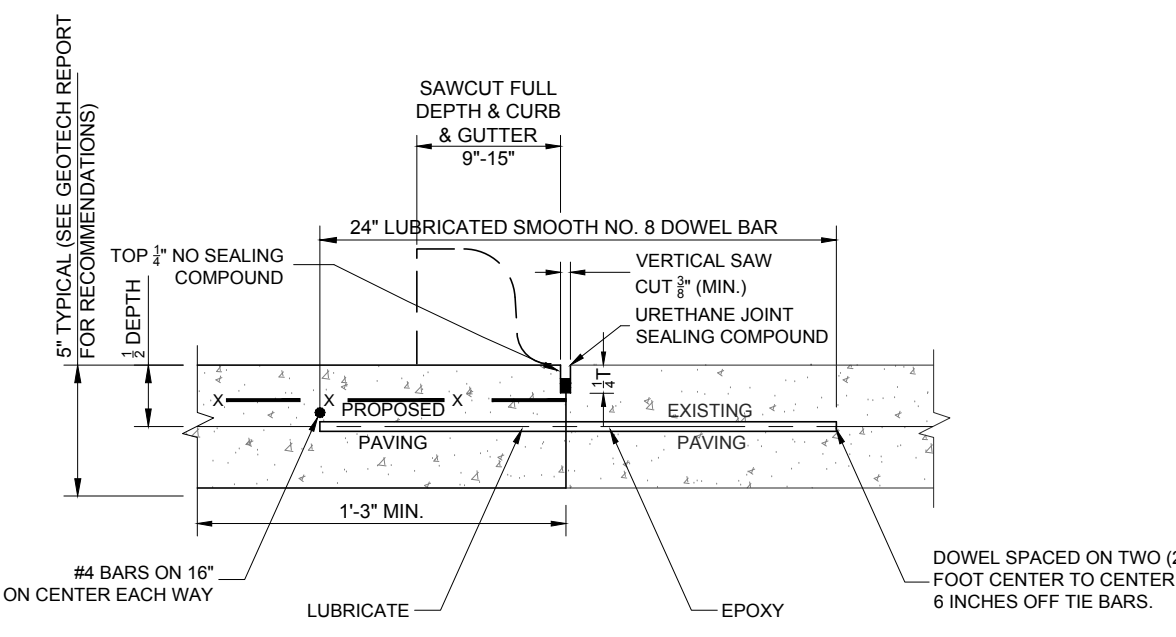
- NOTES:
1. JOINT SPACING TO BE 12' x 12' WITH EVERY OTHER JOINT BEING AN EXPANSION JOINT.
  2. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

**9** CONTRACTION JOINT  
C-402 NOT TO SCALE



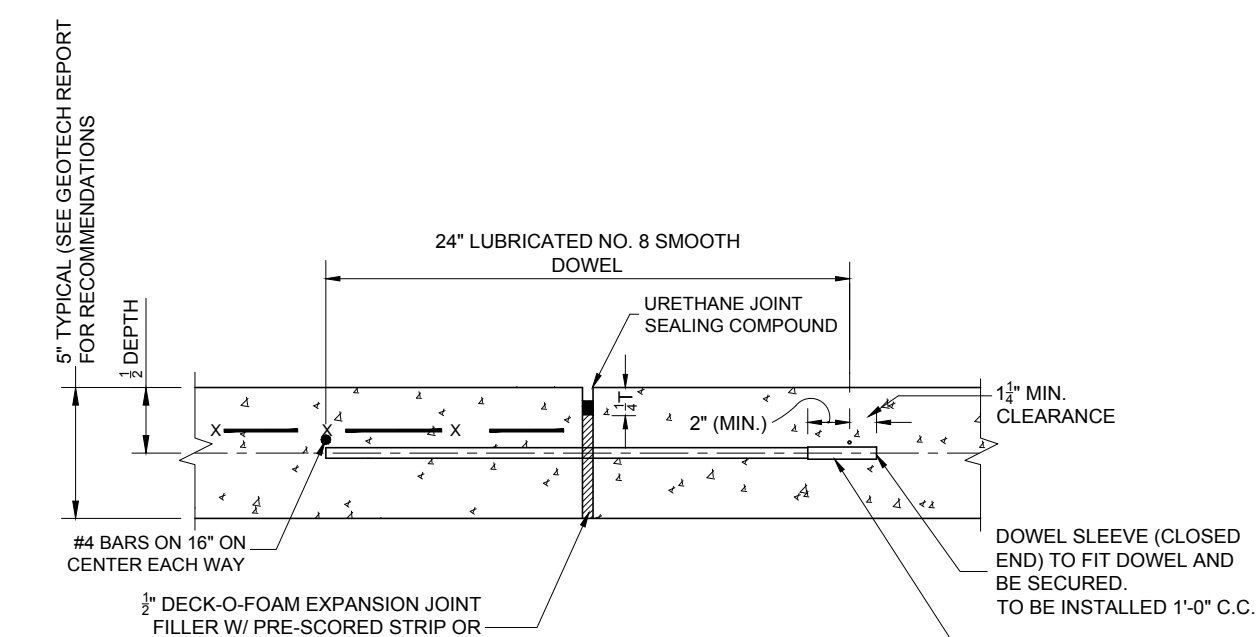
- NOTES:
1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.

**10** KEYED CONSTRUCTION JOINT  
C-402 NOT TO SCALE



- NOTES:
1. NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
  2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
  3. DOWEL BARS SHALL BE DRILLED & EPOXIED INTO PAVEMENT HORIZONTALLY BY USE OF MECHANICAL EQUIP.
  4. PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.

**11** LONGITUDINAL BUTT JOINT  
C-402 NOT TO SCALE



- NOTES:
1. NO. 5 SMOOTH DOWEL BAR MAY BE USED IN 5 INCH AND 6 INCH PAVEMENT THICKNESS.
  2. LONGITUDINAL BUTT CONSTRUCTION MAY BE UTILIZED IN PLACE OF LONGITUDINAL HINGED (KEYWAY) JOINT AT CONTRACTORS OPTION.
  3. DOWEL BARS SHALL BE DRILLED INTO PAVEMENT HORIZONTALLY BY USE OF A MECHANICAL EQUIPMENT.
  4. DRILLING BY HAND IS NOT ACCEPTABLE. PUSHING DOWEL BARS INTO WET CONCRETE NOT ACCEPTABLE.
  5. JOINT SPACING TO BE 24'x24' (EVERY OTHER JOINT).

**12** EXPANSION JOINT  
C-402 NOT TO SCALE



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**FSR#05916**

BUILDING TYPE / SIZE: P14-LS-BN

RELEASE:

REVISION SCHEDULE  
NO. DATE DESCRIPTION

CONSULTANT PROJECT # MAA240159.00

PRINTED FOR ISSUED FOR PERMIT

DATE 10/03/2024

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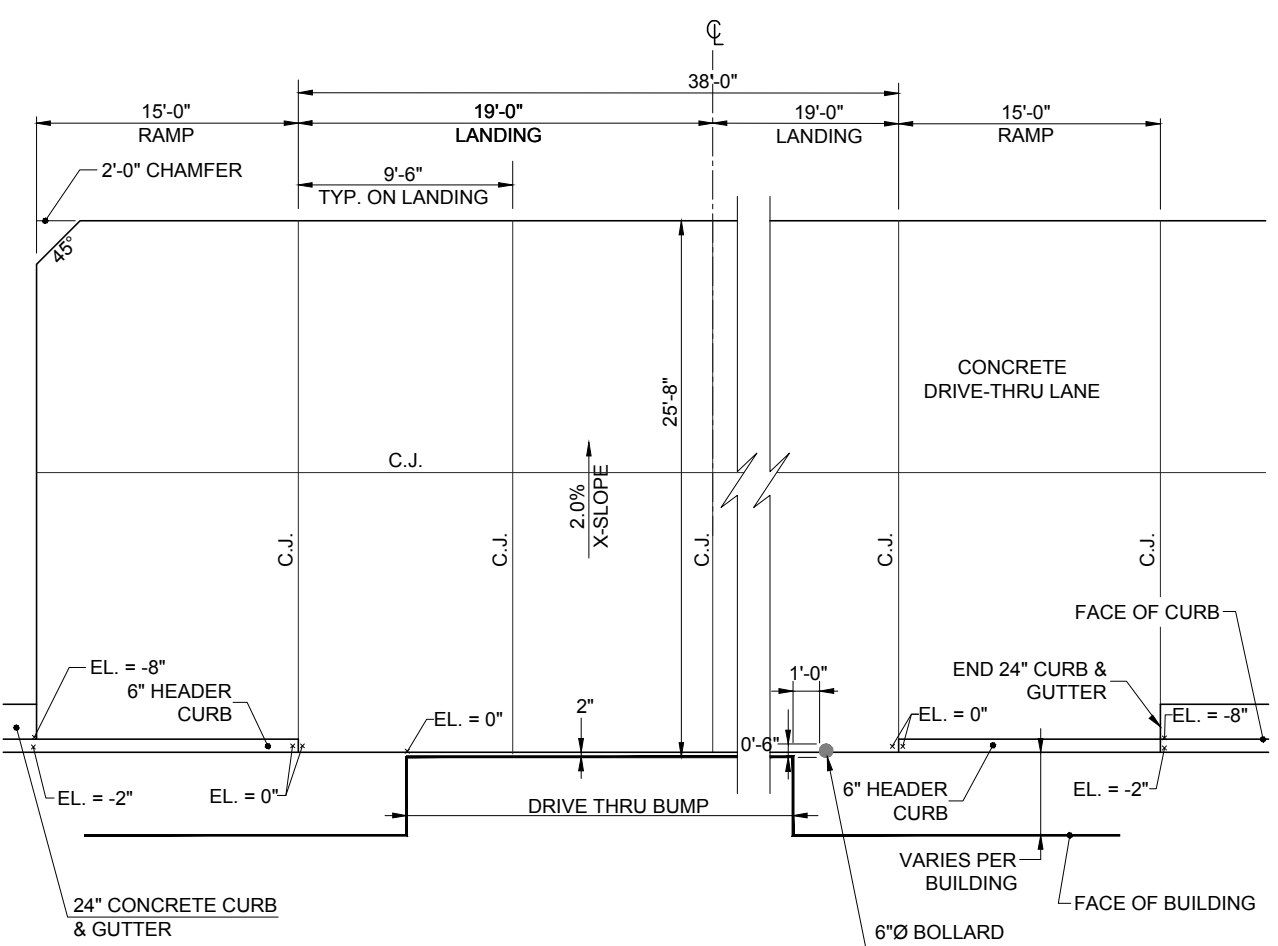
SHEET SITE DETAILS

SHEET NUMBER

**C-402**

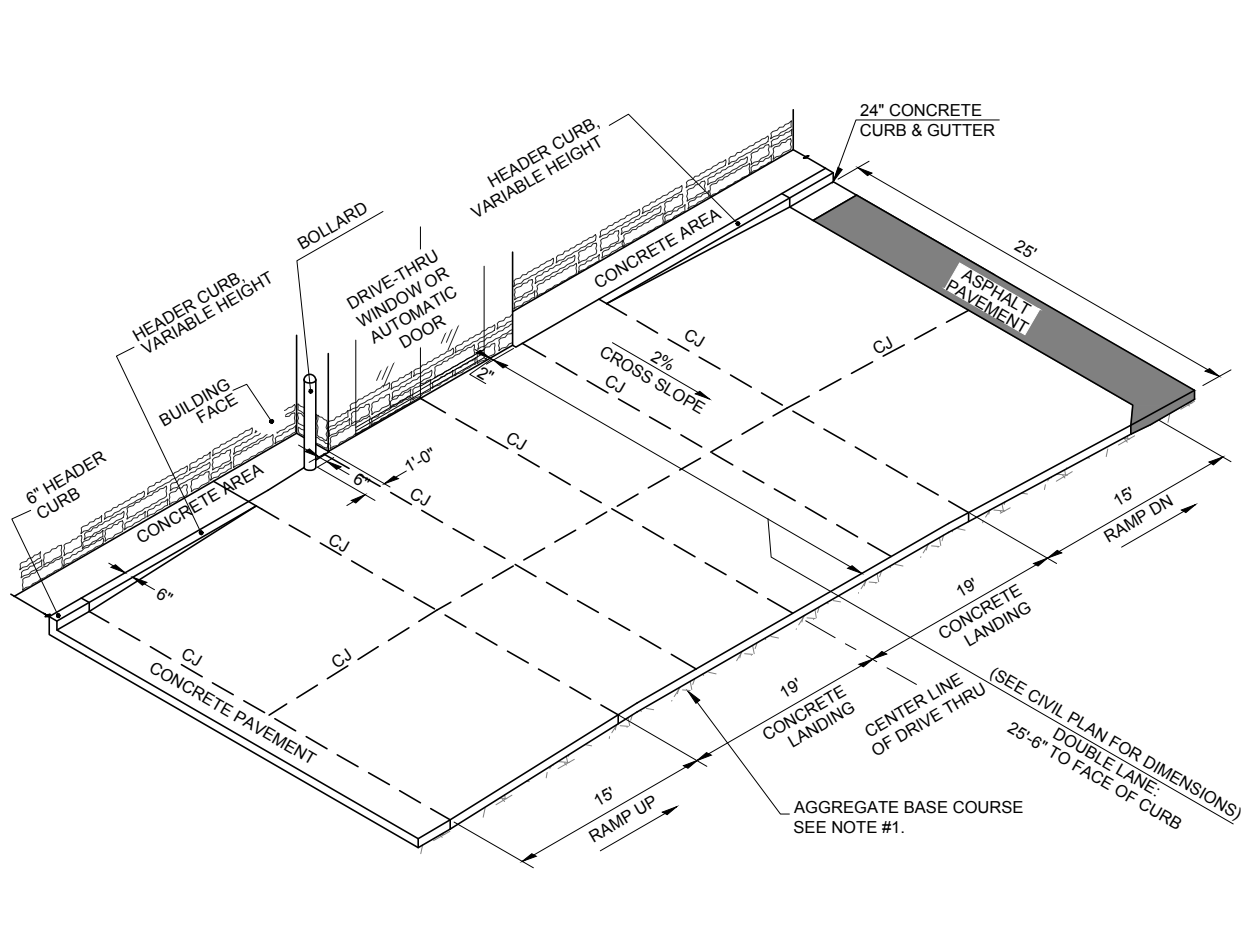
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W:\BOHLER\NET\SHARES\MA PROJECTS\2024\MAA240159.00\CADD\DRAWINGS\PLAN SETS\CIVIL SITE PLANS\CIVIL DETAIL\_MAA240159.00.dwg - LAYOUT: C-402 - SITE DETAILS



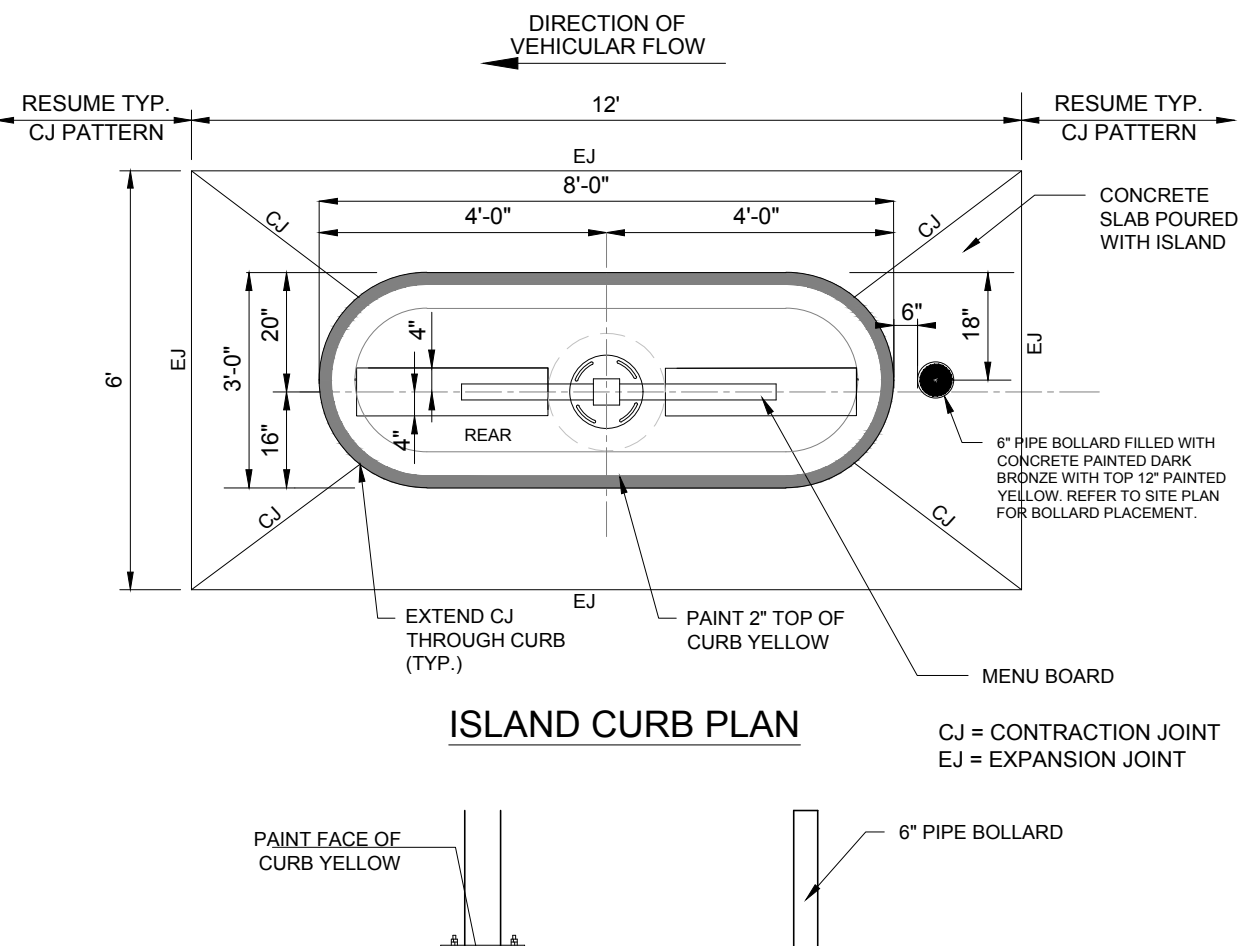
**NOTE:**  
 1. ALL ELEVATIONS ON THIS DETAIL ARE RELATIVE TO FFE = 0'.  
 2. FOR LC FOOTPRINT DECREASE LANDING FROM 38' TO 30'. LANDING SHOULD REMAIN CENTERED ON DRIVE-THRU WINDOW.

**1 DRIVE-THRU PLAN - FLUSH WITH FFE**  
 C-403 NOT TO SCALE



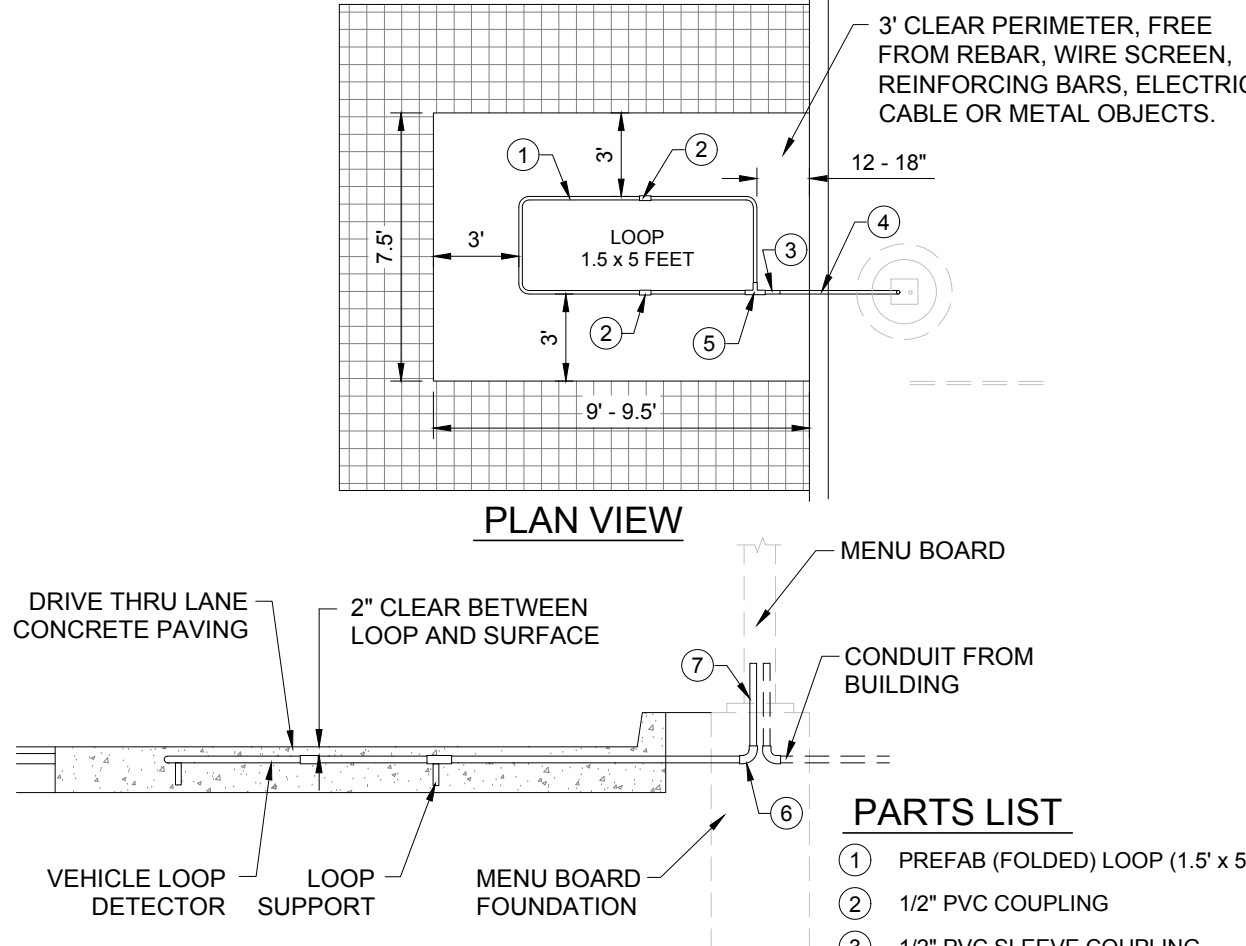
**NOTE:**  
 1. GENERAL CONTRACTOR SHALL REFERENCE GEOTECHNICAL REPORT FOR PAVEMENT SECTION REQUIREMENTS.  
 2. FOR LC FOOTPRINT DECREASE LANDING FROM 38' TO 30'. LANDING SHOULD REMAIN CENTERED ON DRIVE-THRU WINDOW.

**2 DRIVE-THRU ISOMETRIC**  
 C-403 NOT TO SCALE



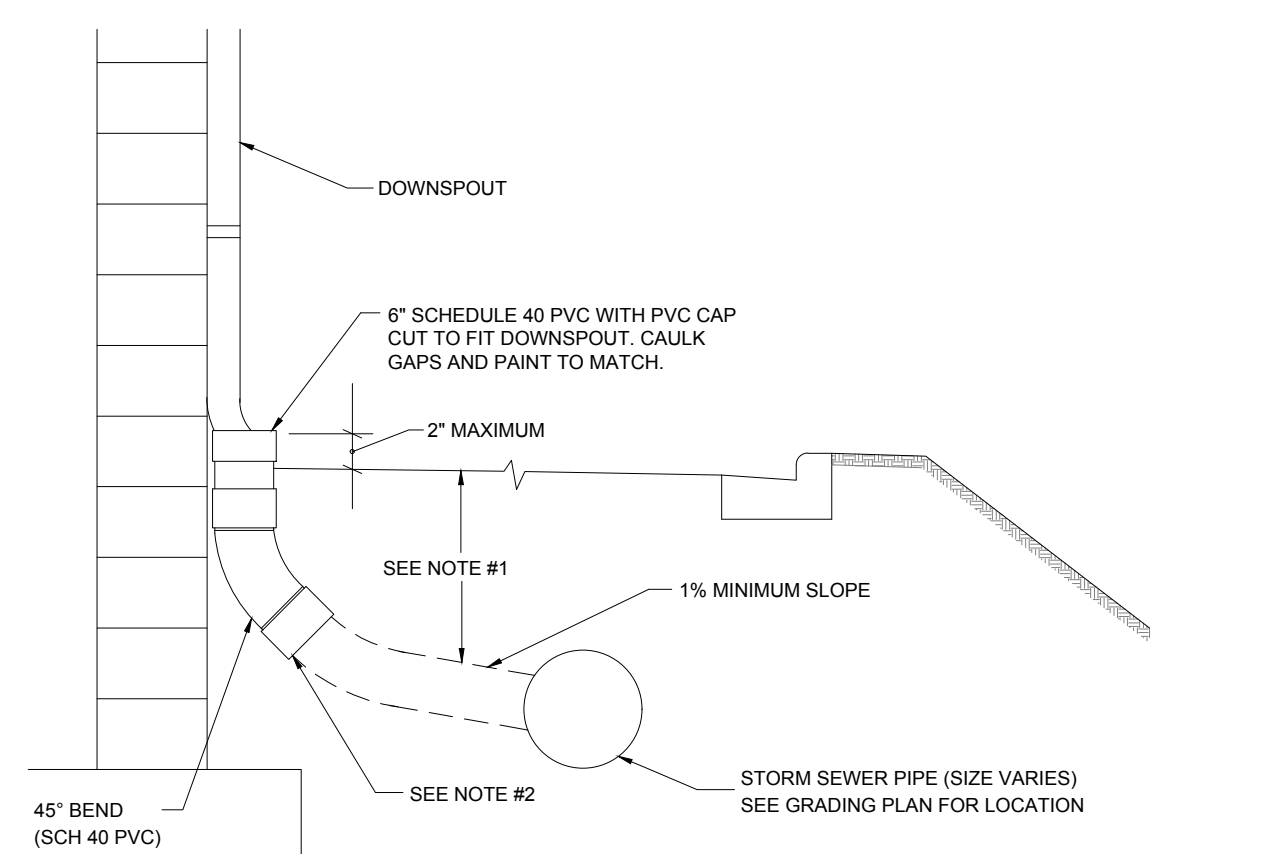
**ISLAND CURB ELEVATION**  
 6\"/>

**3 DRIVE-THRU ORDER POINT ISLAND**  
 C-403 NOT TO SCALE



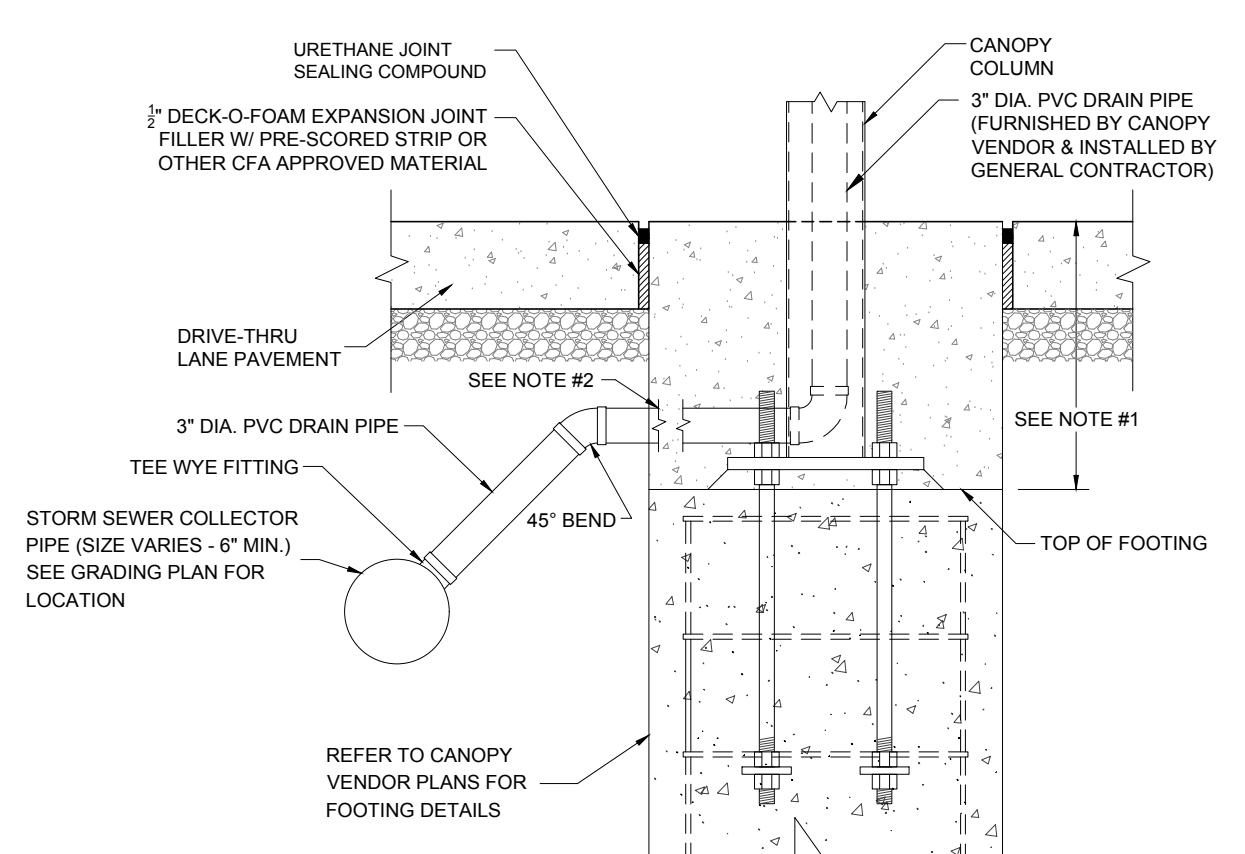
**SECTION VIEW**  
 DRIVE THRU LANE CONCRETE PAVING, 2\"/>

**4 MENU BOARD LOOP DETECTION SYSTEM**  
 C-403 NOT TO SCALE



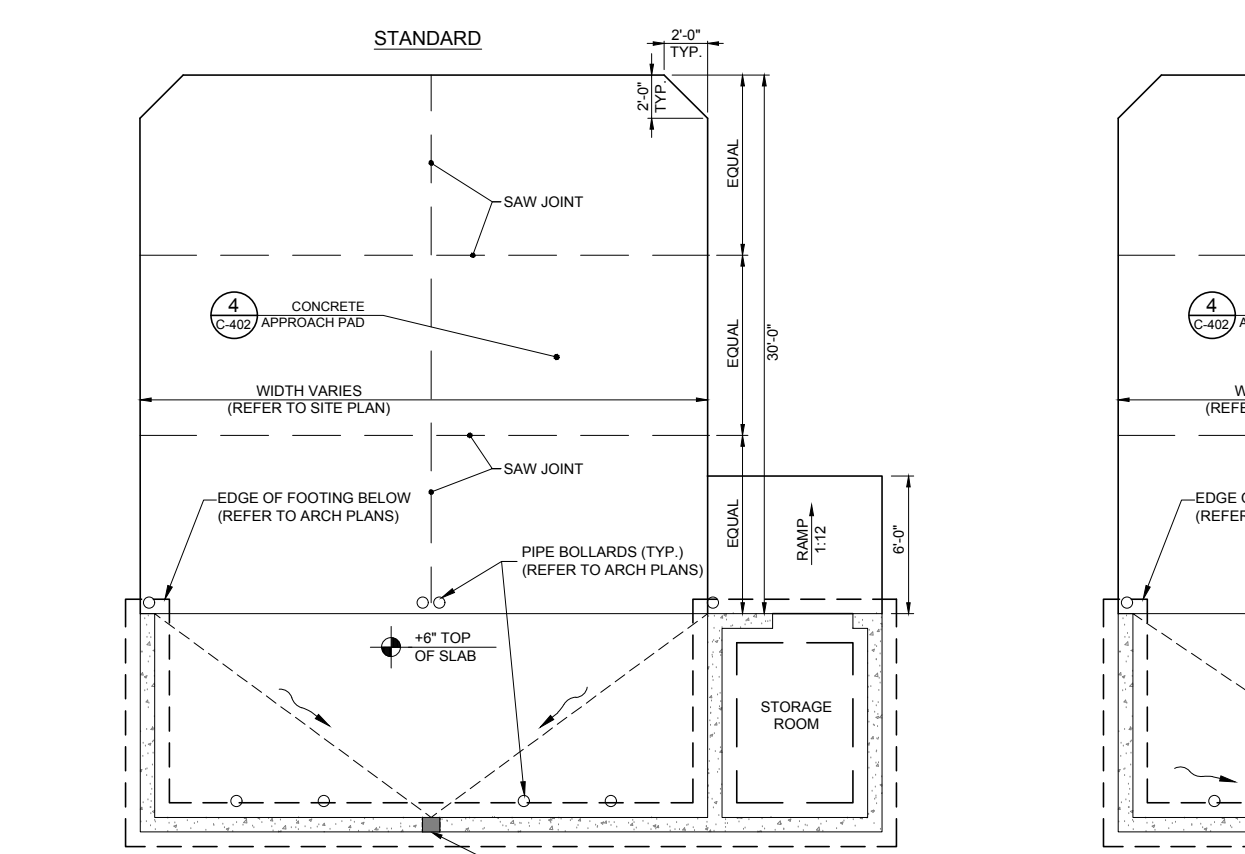
**NOTES:**  
 1. FOR ALL DEPTHS OF COVER LESS THAN TWO (2) FEET, PIPE MUST BE SCHEDULE 40 PVC. FOR DEPTHS OF COVER GREATER THAN TWO (2) FEET, FLEXIBLE PIPE MAY BE USED. REFER TO SPECIFICATIONS FOR ALLOWABLE PIPE TYPES.  
 2. A WATERTIGHT CONNECTION SHALL BE MAINTAINED WITH ANY TRANSITION FROM SCHEDULE 40 PVC PIPE TO ANY OTHER PIPE TYPE.  
 3. THE DOWNSPOUT COLLECTOR DRAIN SHALL BE INSTALLED BEFORE THE DOWNSPOUTS ARE INSTALLED ON THE BUILDING.  
 4. IF NECESSARY, ADJUST FOOTING TO ALLOW DOWNSPOUT TO BE INSTALLED TIGHT AGAINST BUILDING.

**5 BUILDING DOWNSPOUT CONNECTION**  
 C-403 NOT TO SCALE



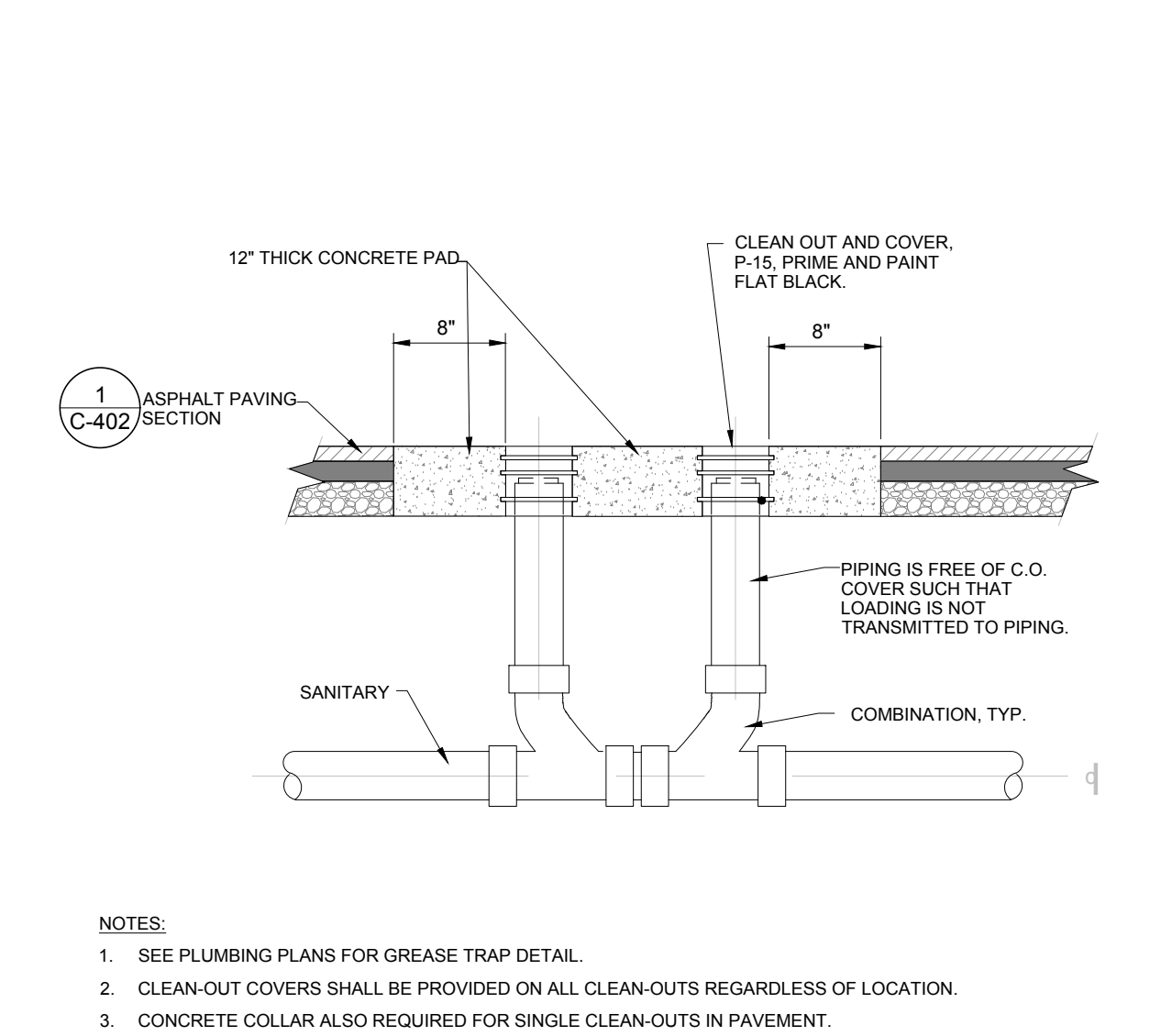
**NOTES:**  
 1. CANOPY FOOTING SHALL BE A MINIMUM 2'-0\"/>

**6 CANOPY DOWNSPOUT CONNECTION**  
 C-403 NOT TO SCALE



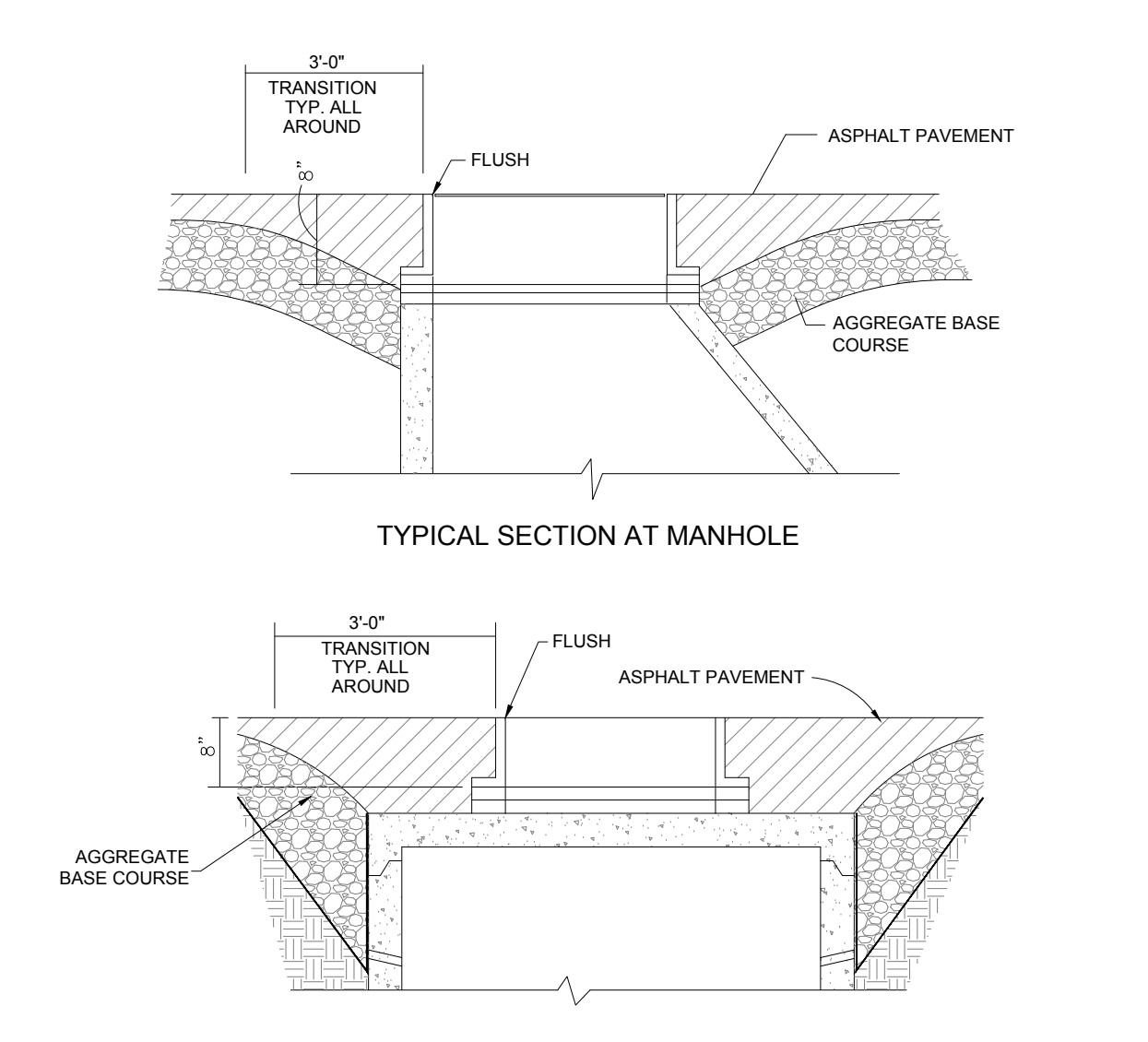
**REFUSE ENCLOSURE PLAN NOTES:**  
 1. SEE SITE PLAN FOR LAYOUT OF CONCRETE APPROACH PAD.  
 2. SEE GRADING PLAN FOR ELEVATIONS ON DUMPSTER PAD & DRAINAGE OF INTERIOR TRASH ENCLOSURE. REFER TO ARCHITECTURAL PLANS FOR ADDITIONAL DIMENSIONS & DETAILS ON ENCLOSURE, COORDINATE & VERIFY SIZE WITH ARCHITECT & STRUCTURAL ENGINEER.  
 3. PROVIDE POSITIVE DRAINAGE ON APPROACH PAD AWAY FROM DUMPSTER. (SEE GRADING PLAN)  
 4. SEE ARCHITECTURAL PLANS FOR ADDITIONAL DIMENSIONS & DETAILS ON ENCLOSURE, COORDINATE & VERIFY SIZE WITH ARCHITECT & STRUCTURAL ENGINEER.  
 5. GENERAL CONTRACTOR SHALL DRILL HOLES FOR GATE PINS IN BOTH THE OPEN & CLOSED POSITION.

**7 SCREENED REFUSE ENCLOSURE**  
 C-403 NOT TO SCALE



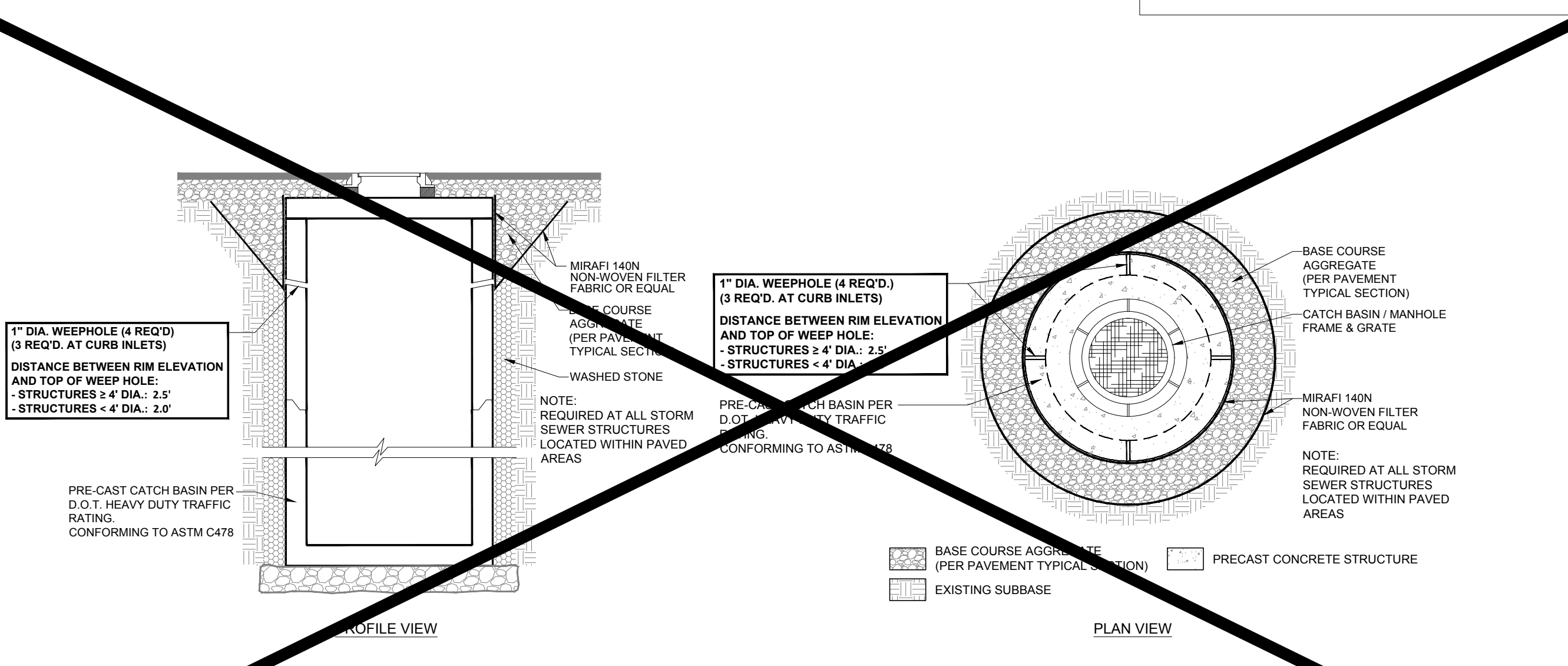
**NOTES:**  
 1. SEE PLUMBING PLANS FOR GREASE TRAP DETAIL.  
 2. CLEAN-OUT COVERS SHALL BE PROVIDED ON ALL CLEAN-OUTS REGARDLESS OF LOCATION.  
 3. CONCRETE COLLAR ALSO REQUIRED FOR SINGLE CLEAN-OUTS IN PAVEMENT.

**8 CLEAN-OUT (OUTSIDE OF BUILDING)**  
 C-403 NOT TO SCALE



**TYPICAL SECTION AT INLET/CATCH BASIN**  
 3'-0\"/>

**9 THICKENED PAVEMENT @ STRUCTURES**  
 C-403 NOT TO SCALE



**1\"/>
 DISTANCE BETWEEN RIM ELEVATION AND TOP OF WEEP HOLE:  
 - STRUCTURES ≥ 4\"/>**

**10 STORM STRUCTURE WEEP HOLE DETAILS**  
 C-403 NOT TO SCALE

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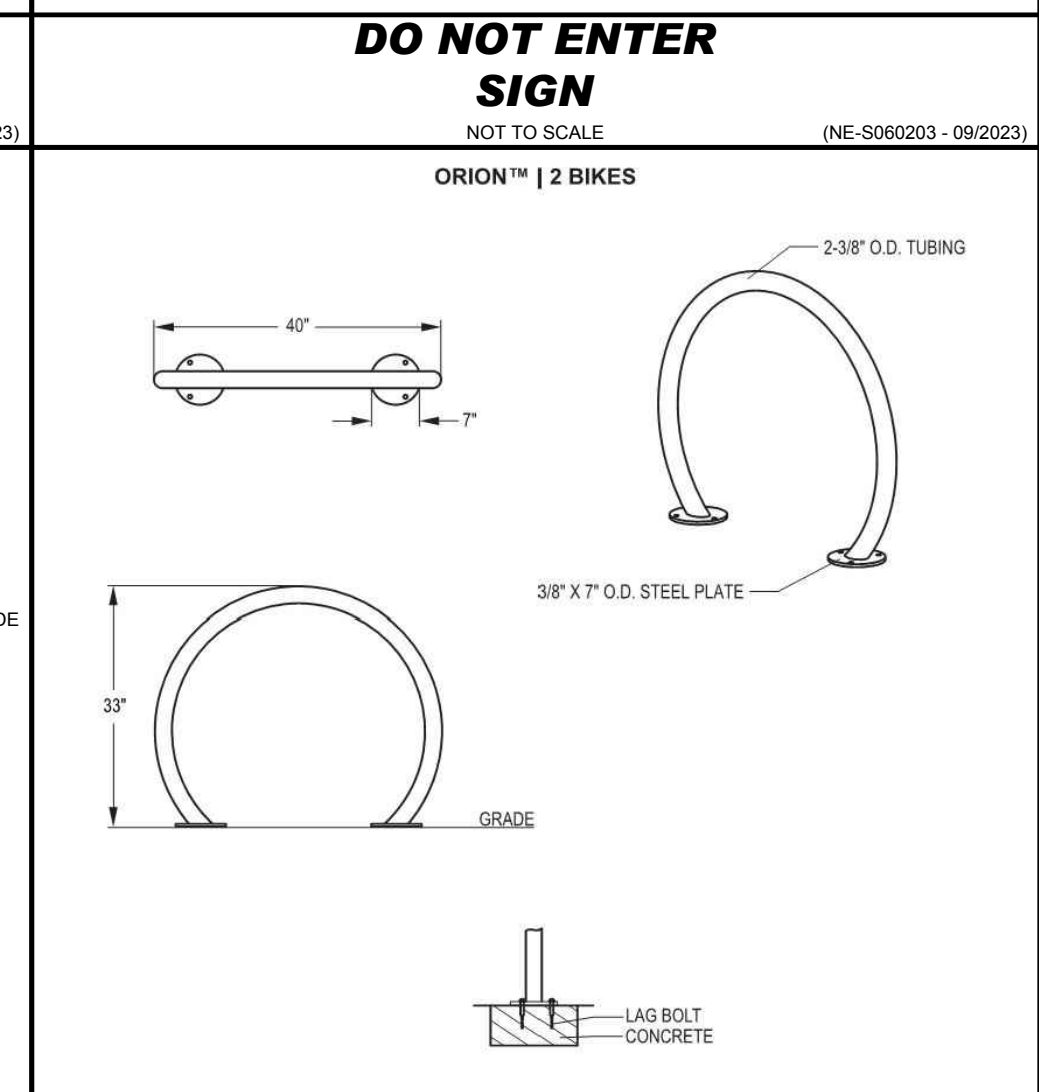
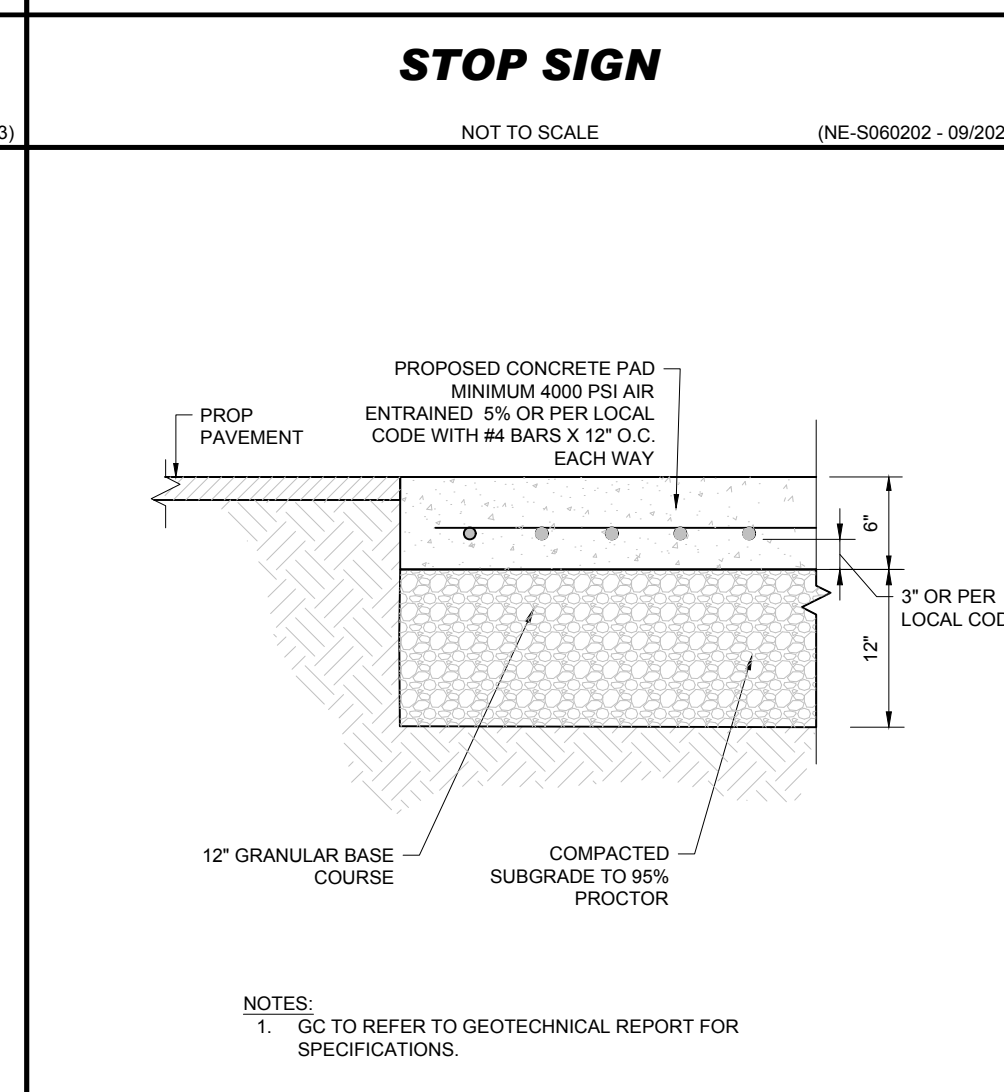
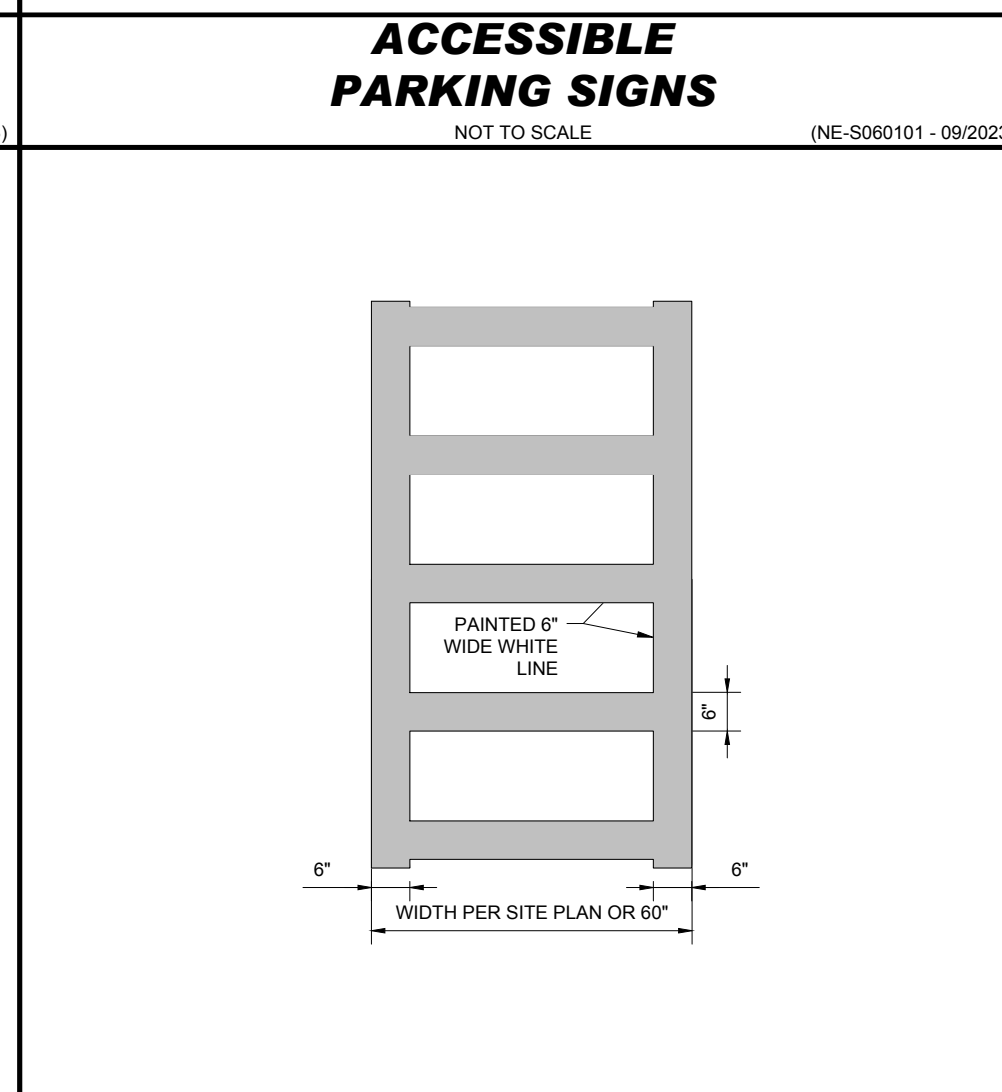
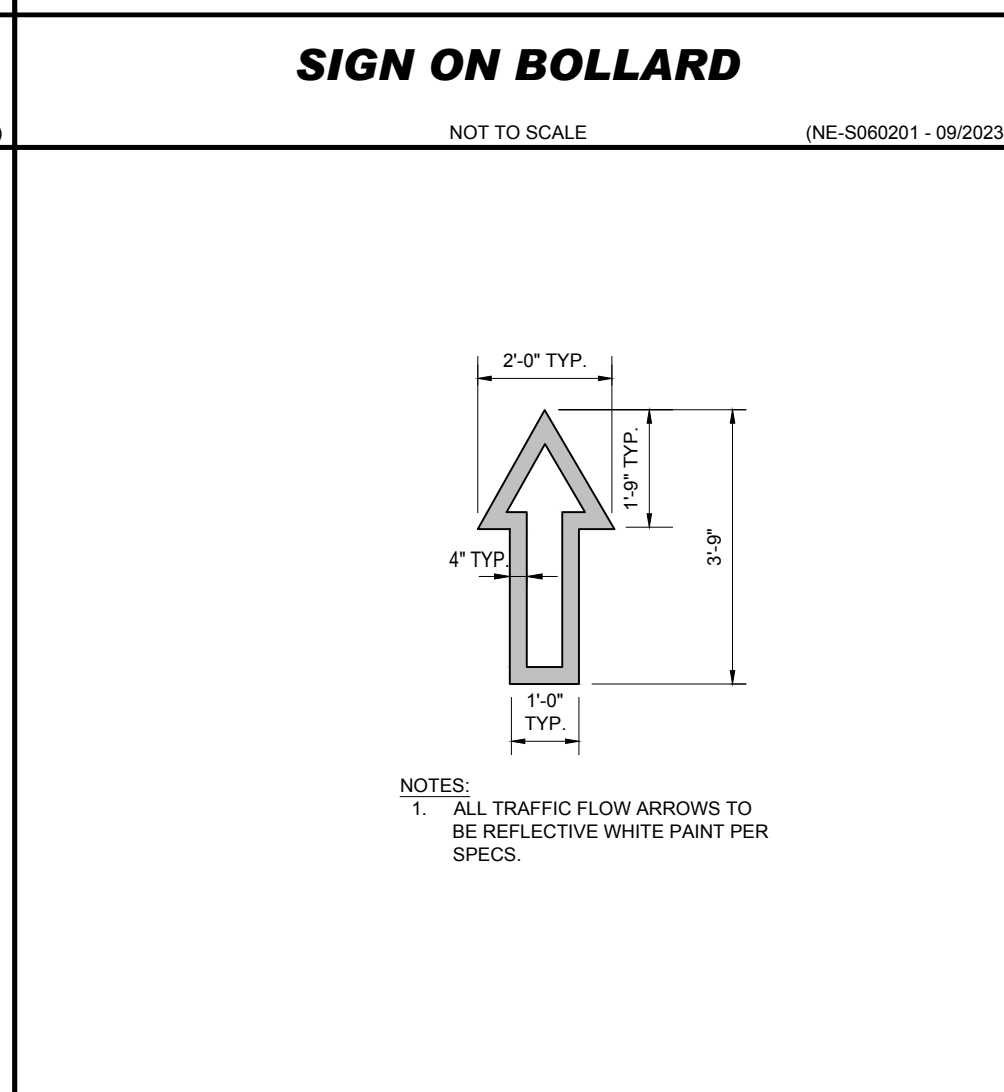
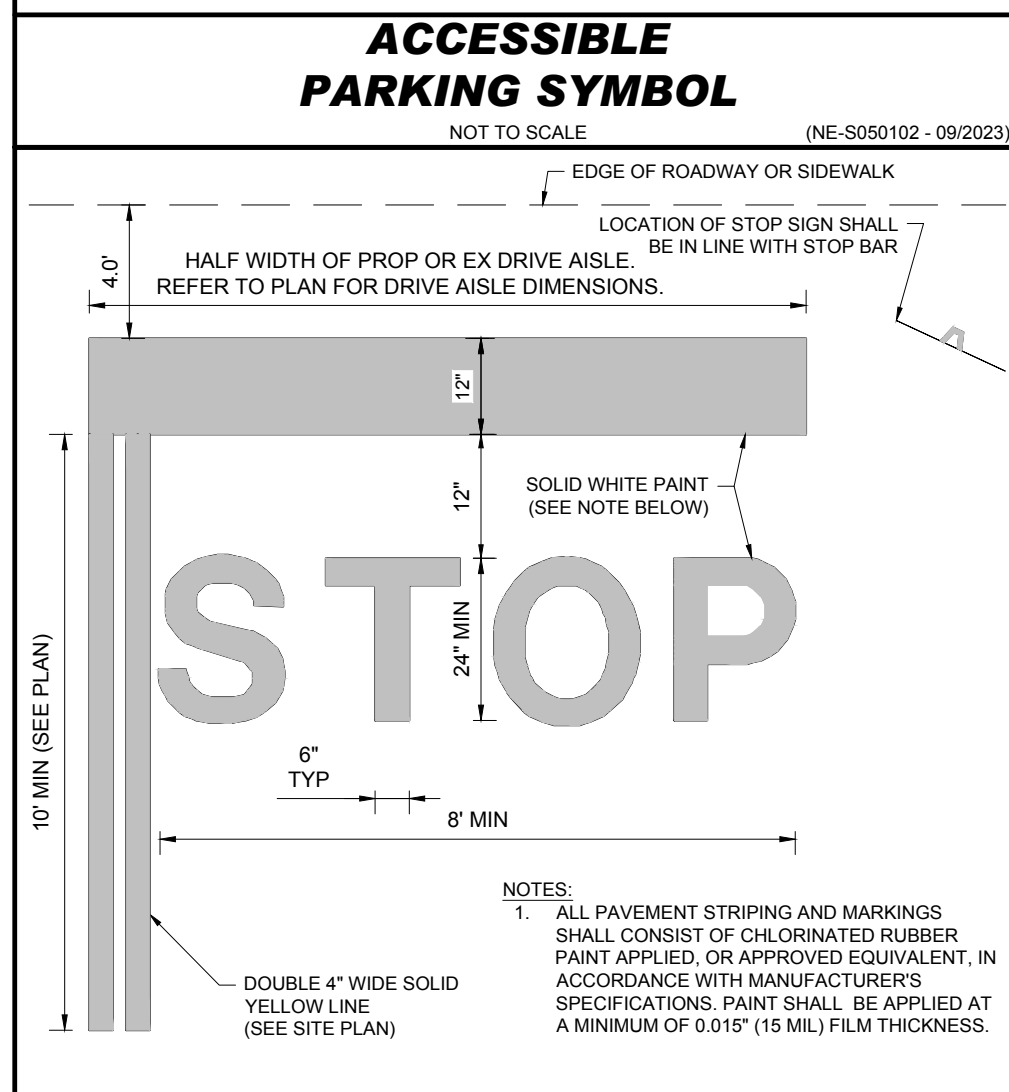
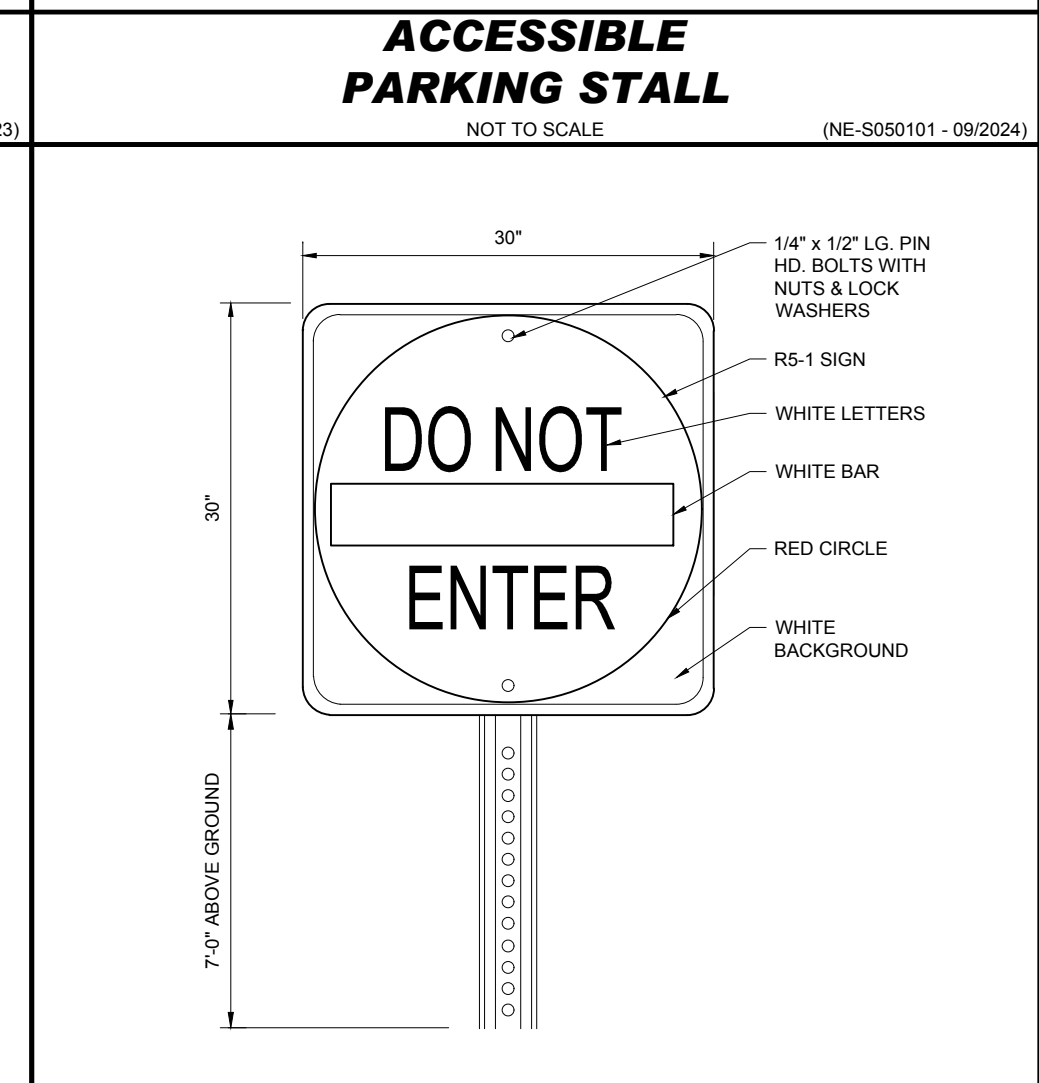
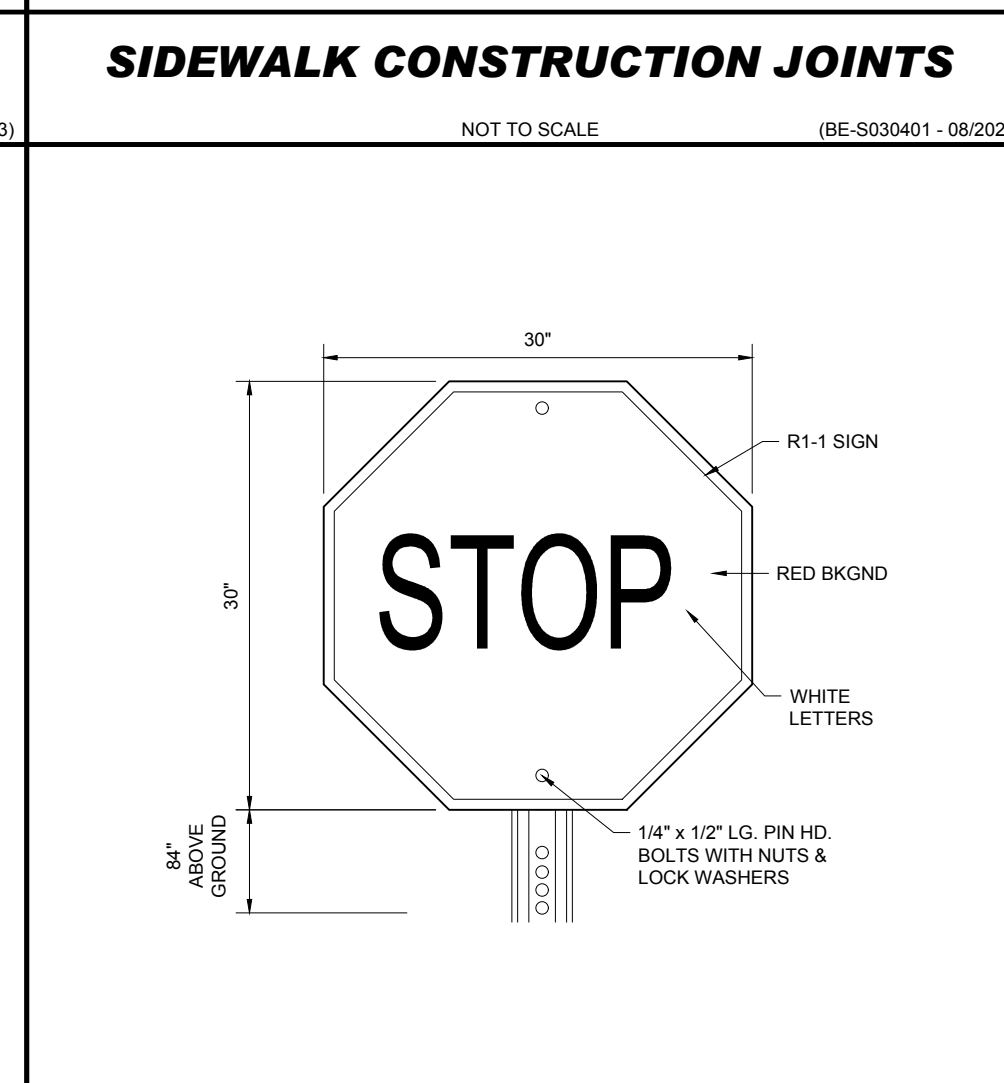
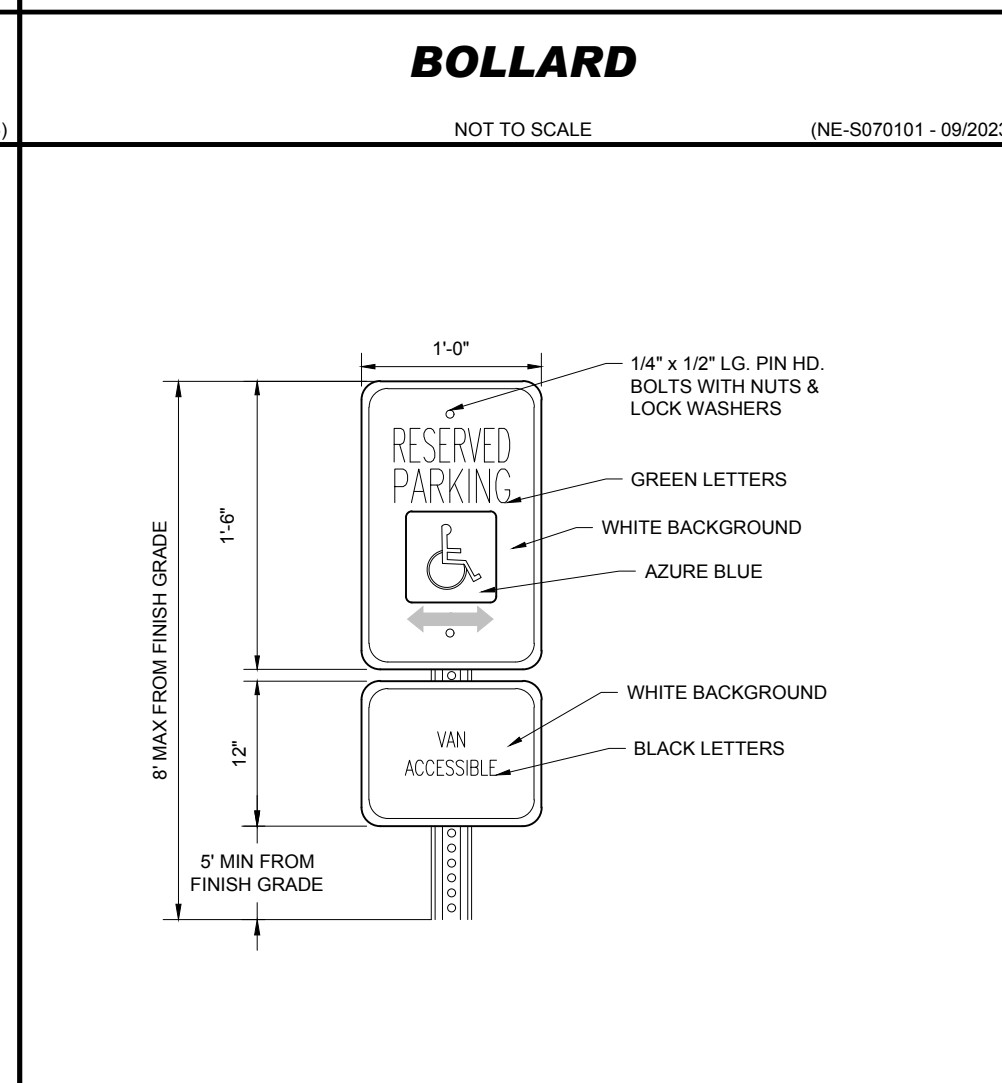
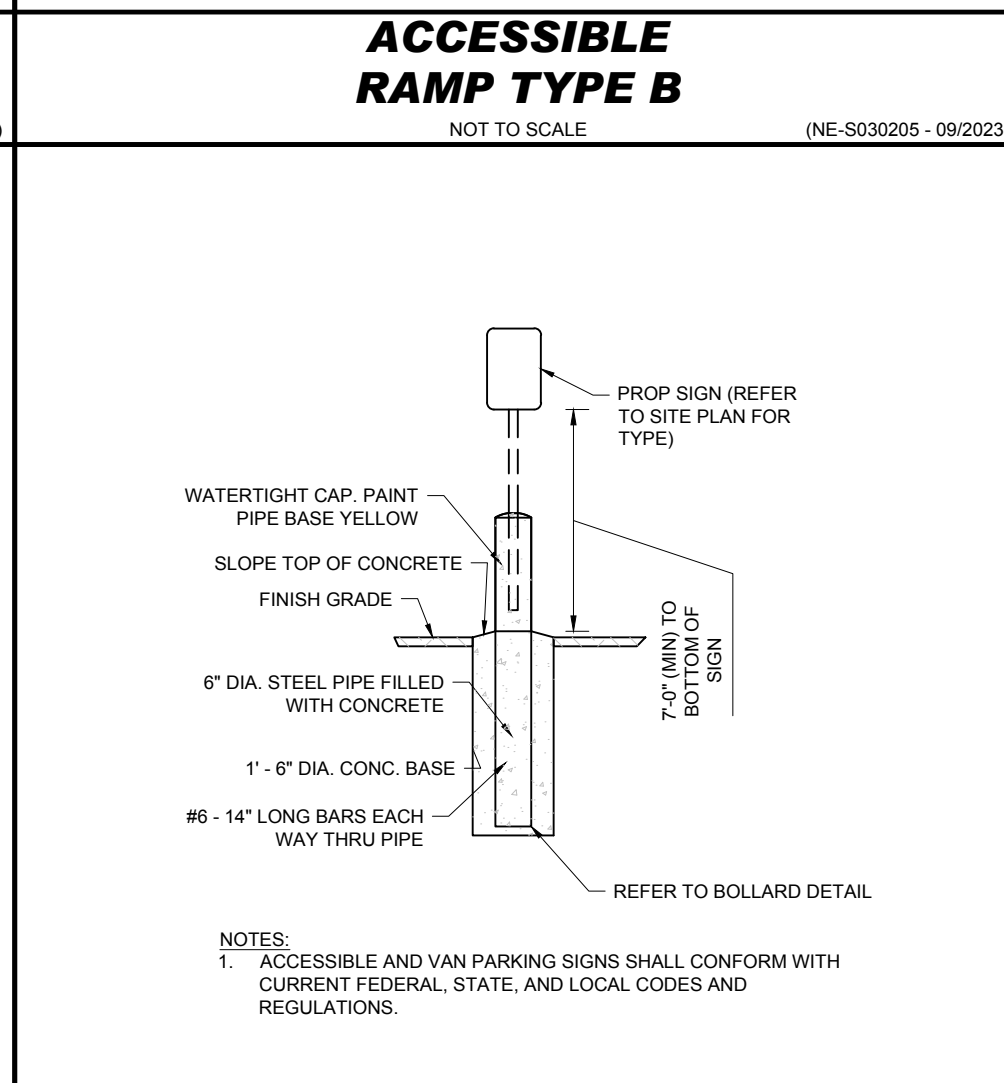
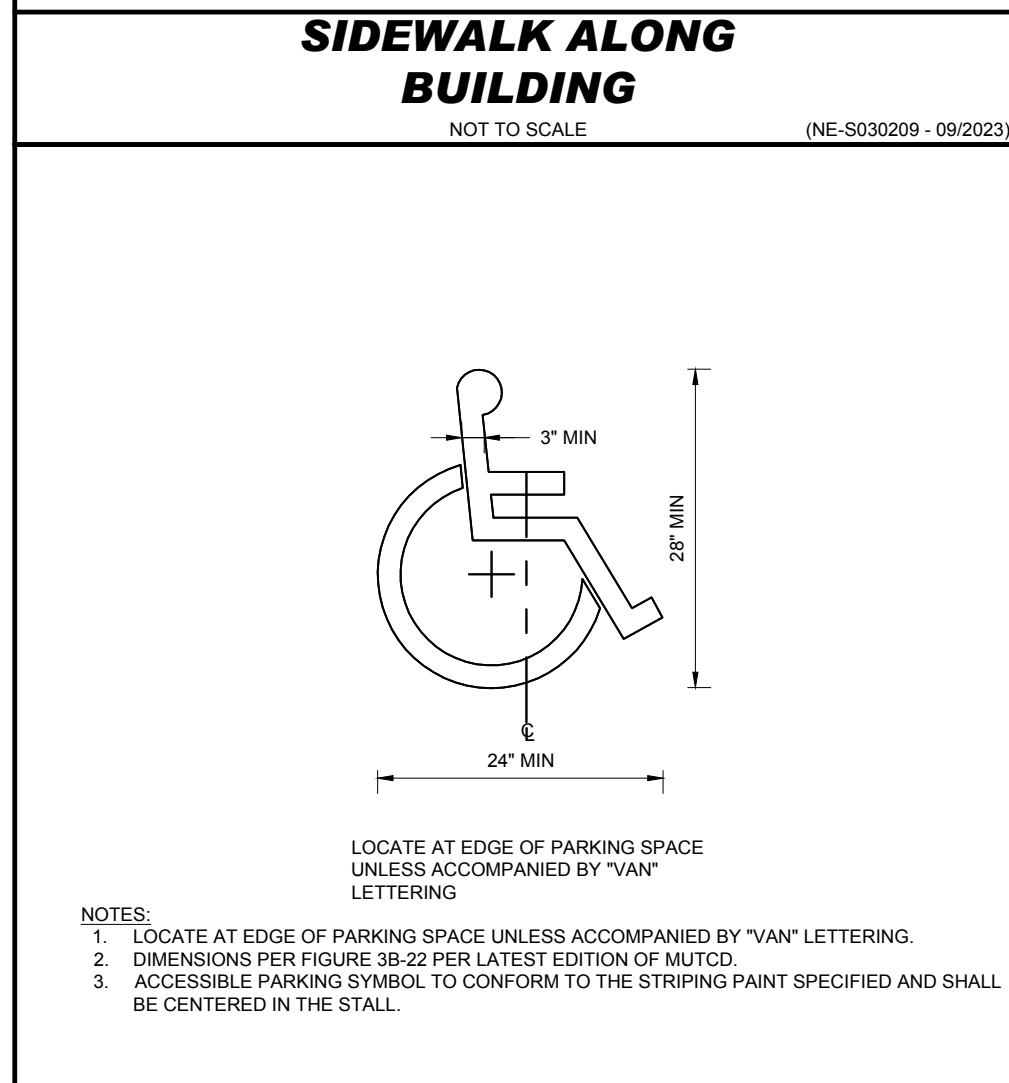
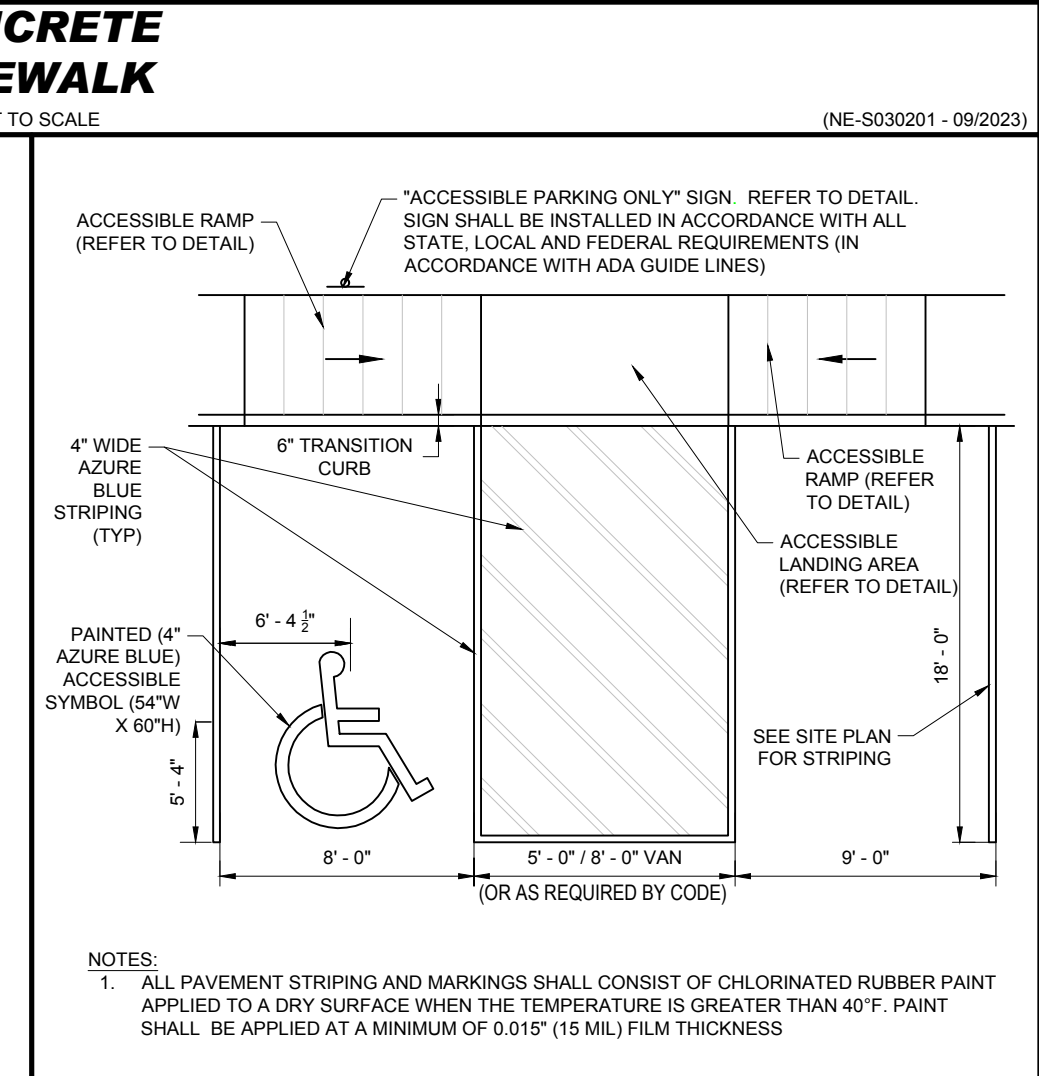
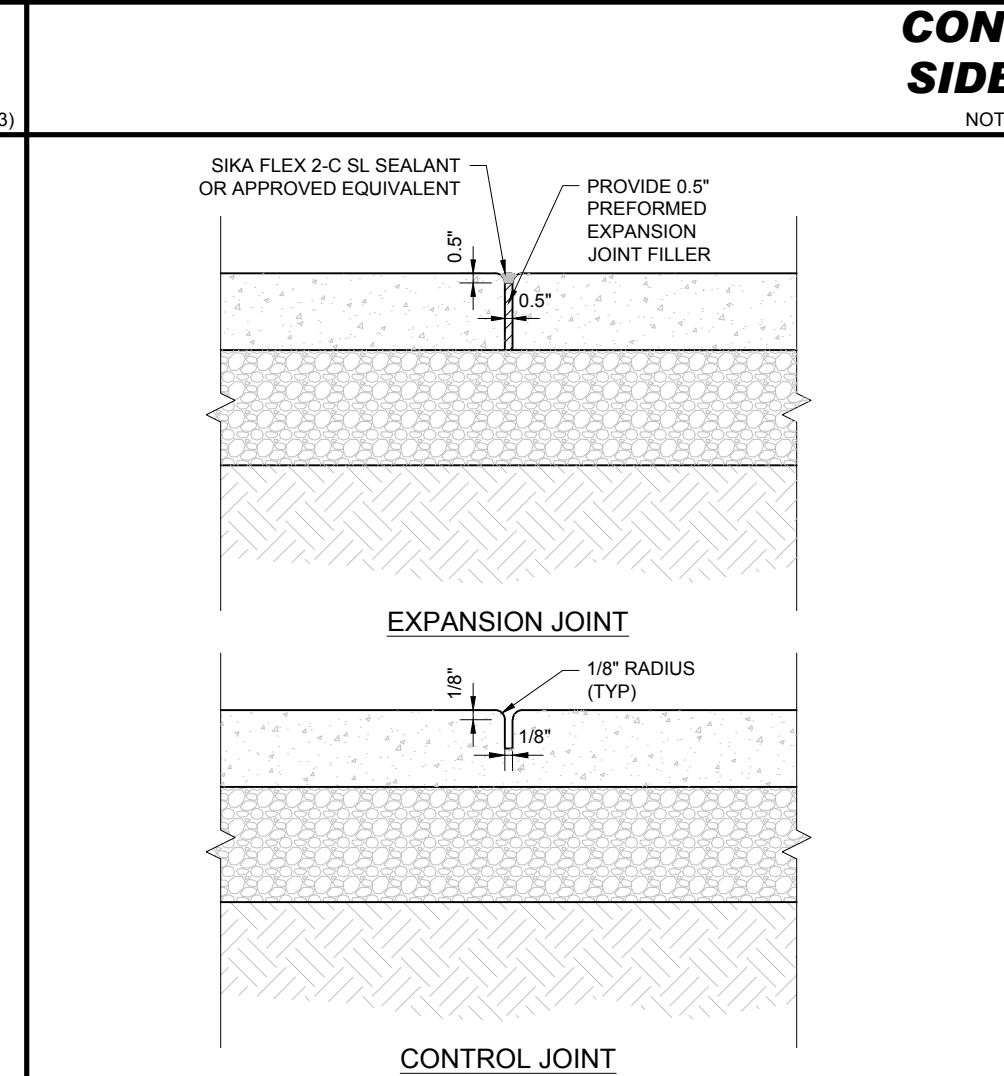
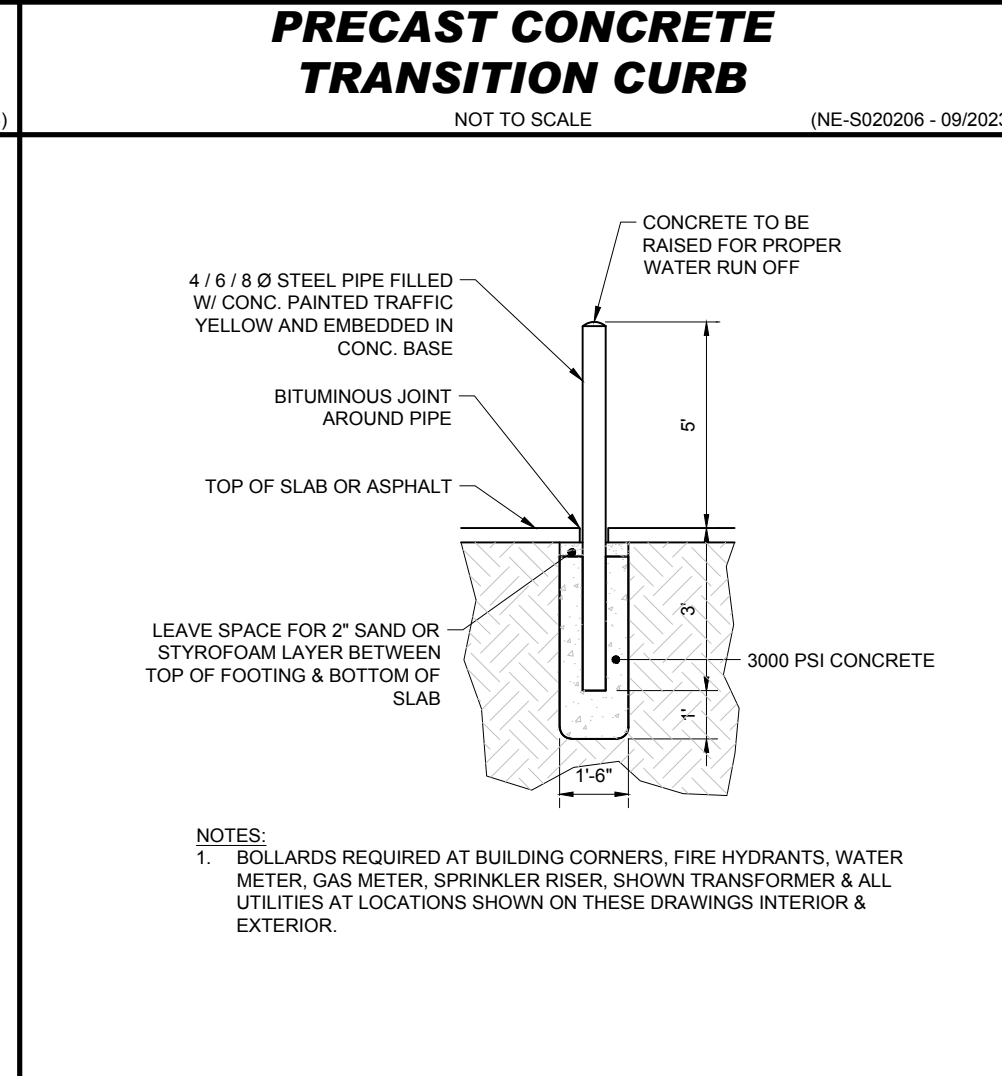
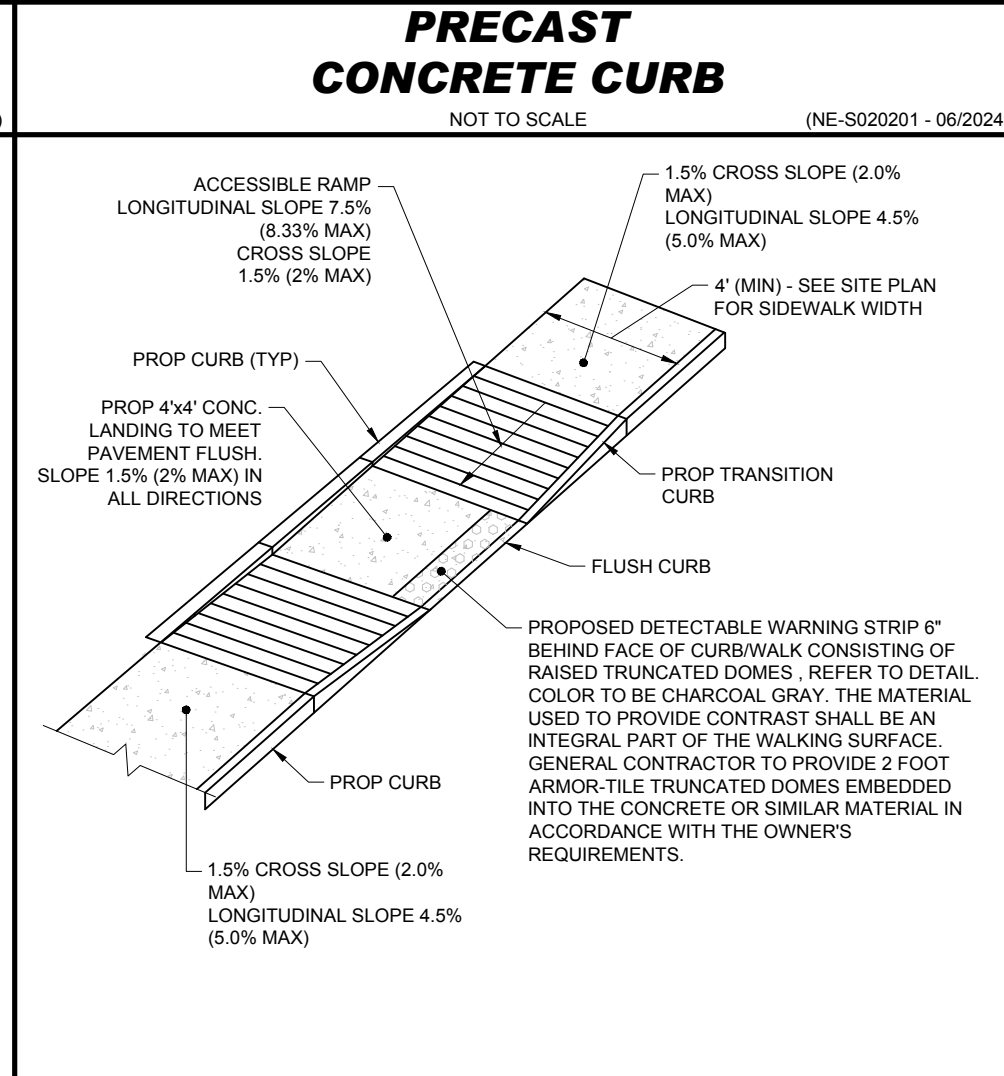
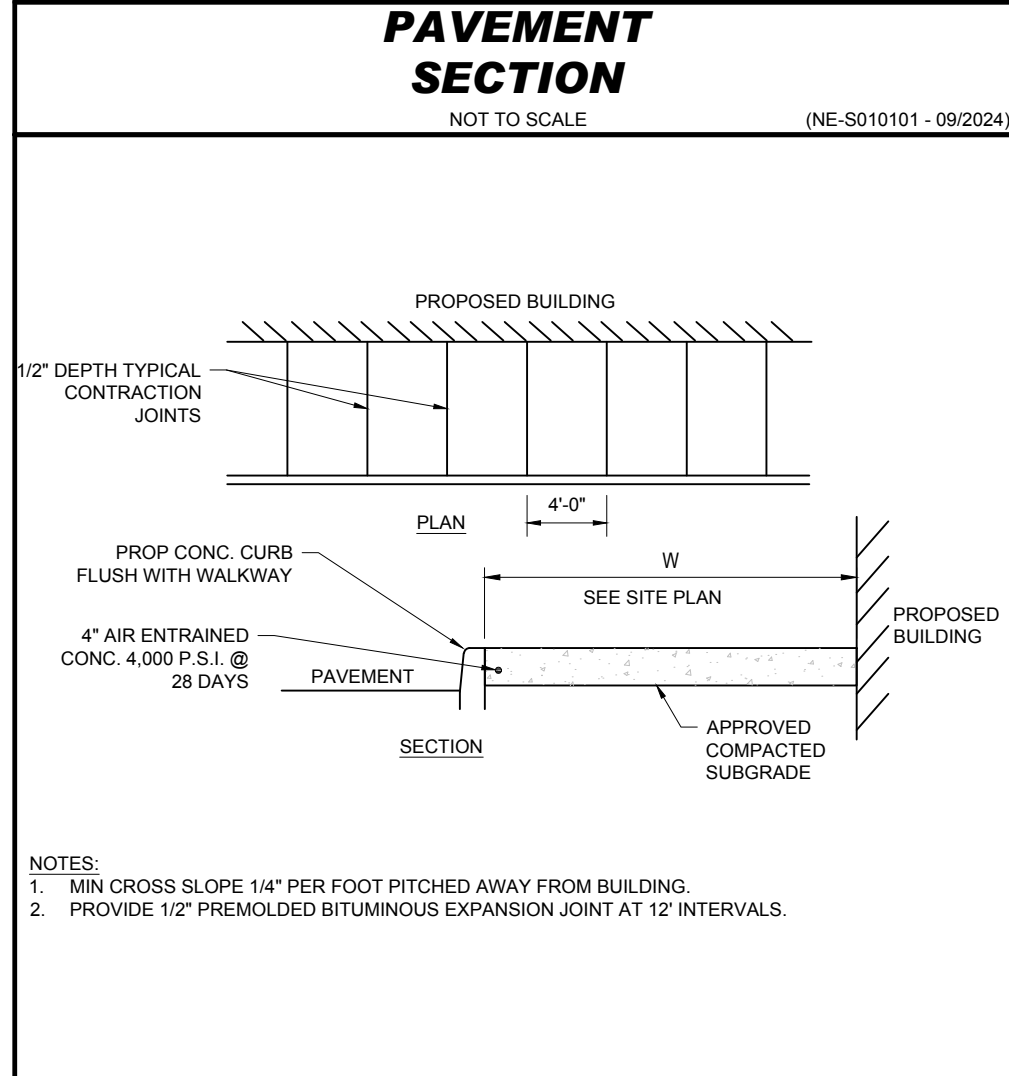
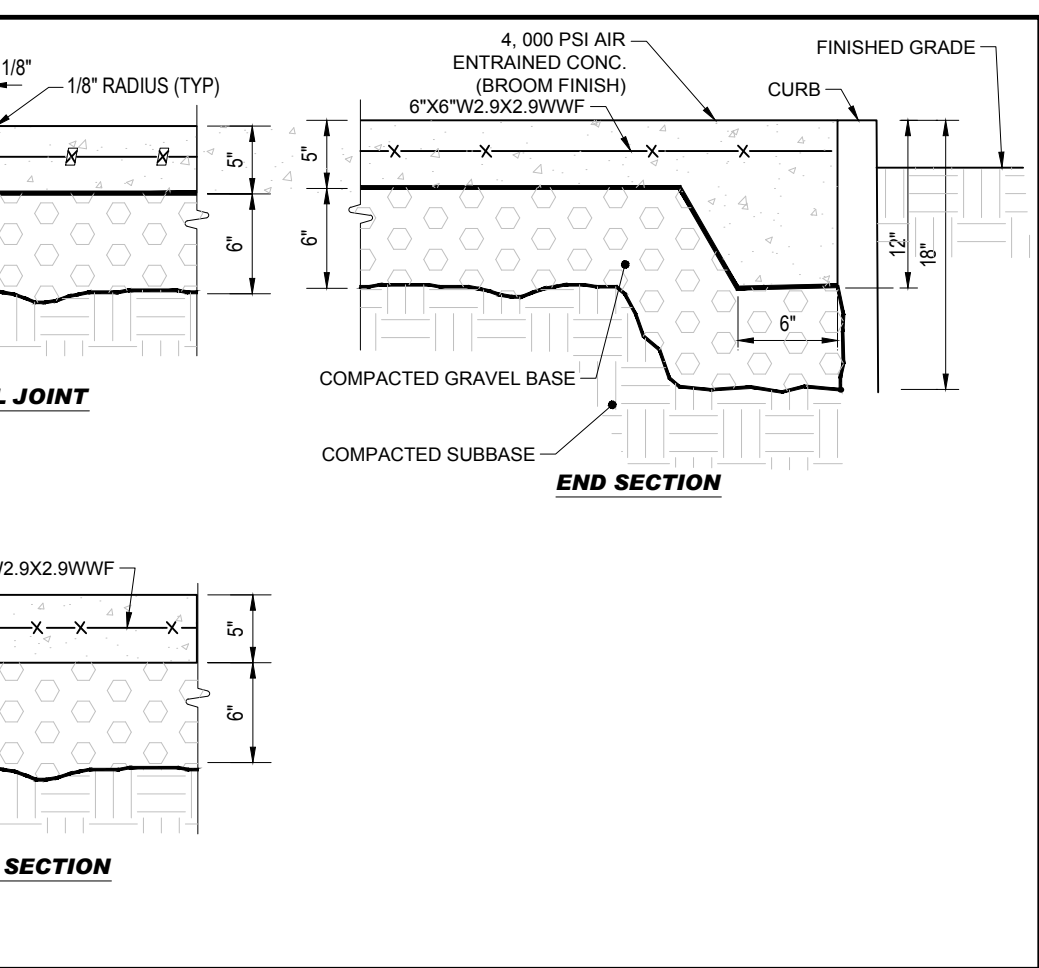
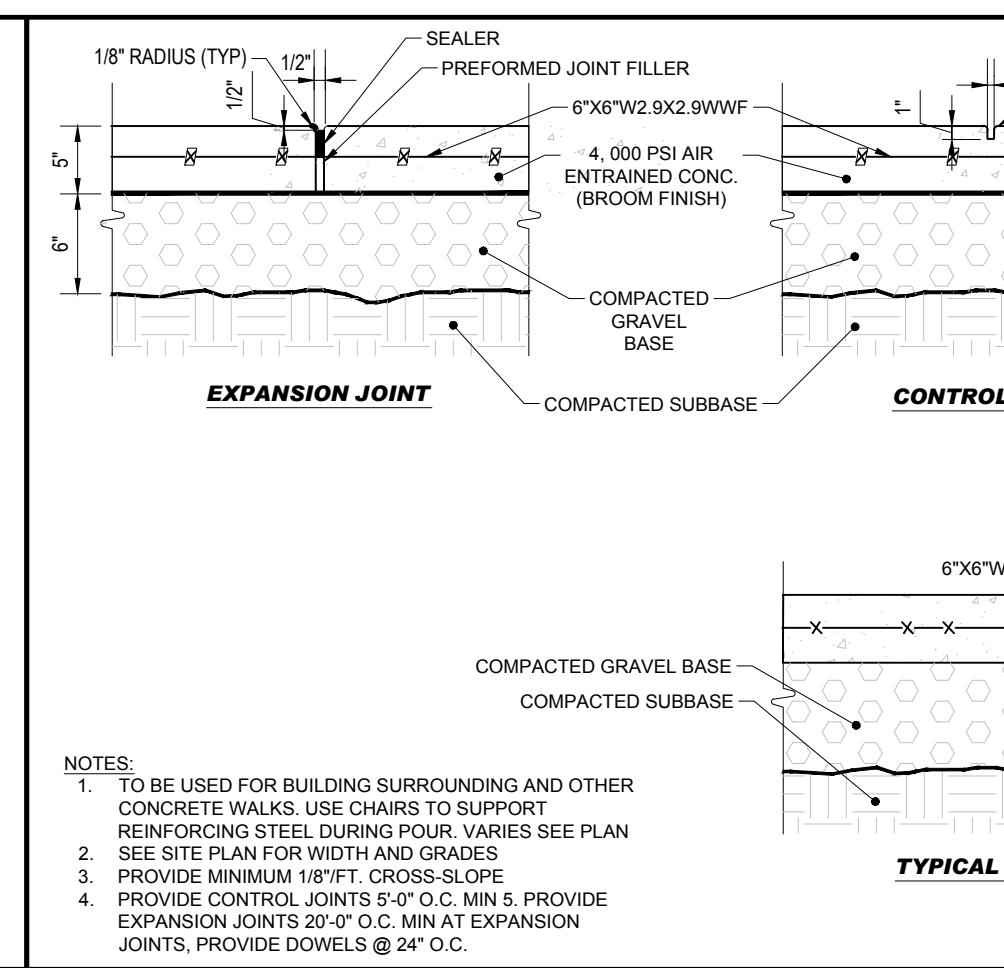
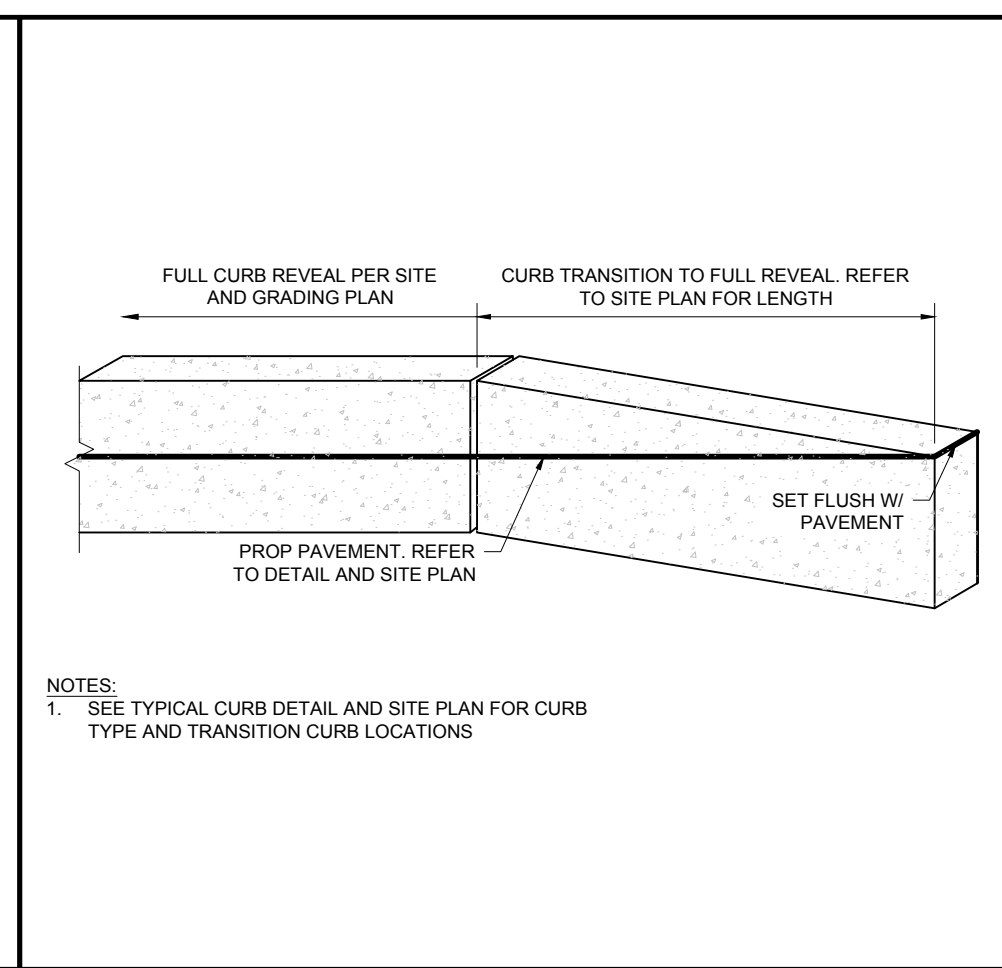
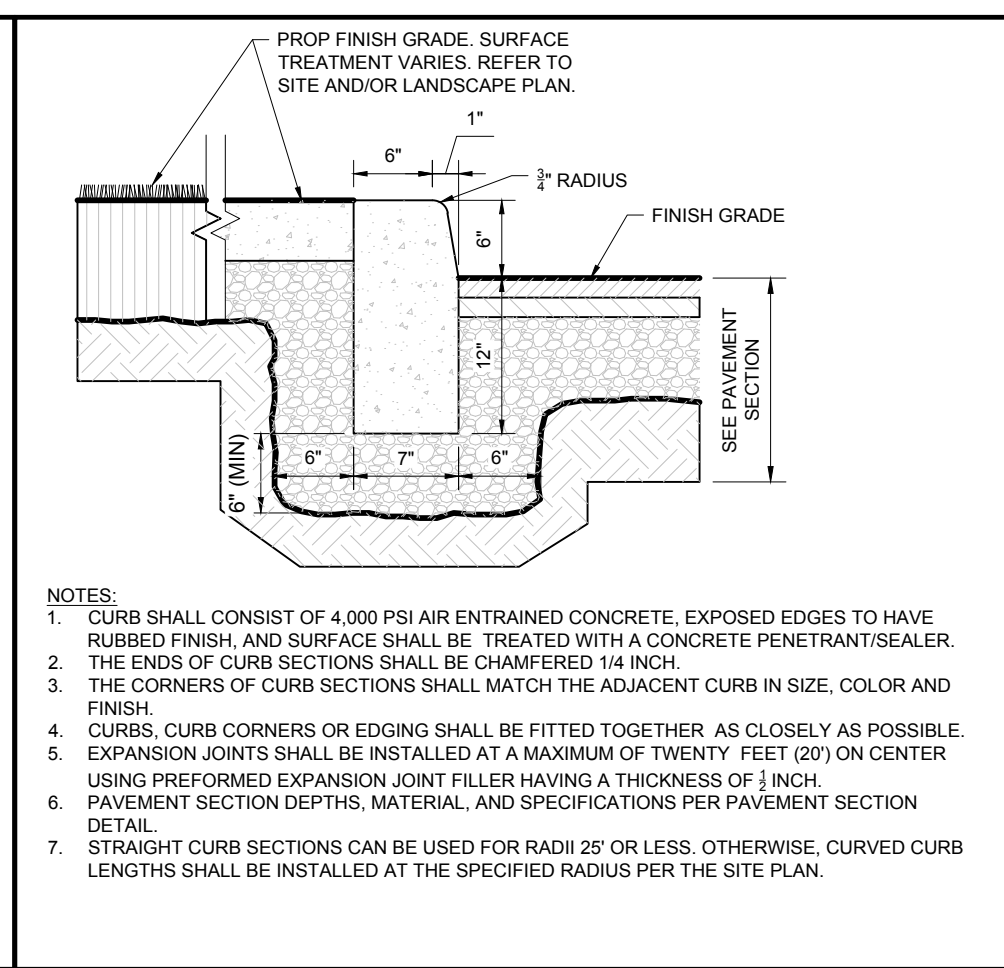
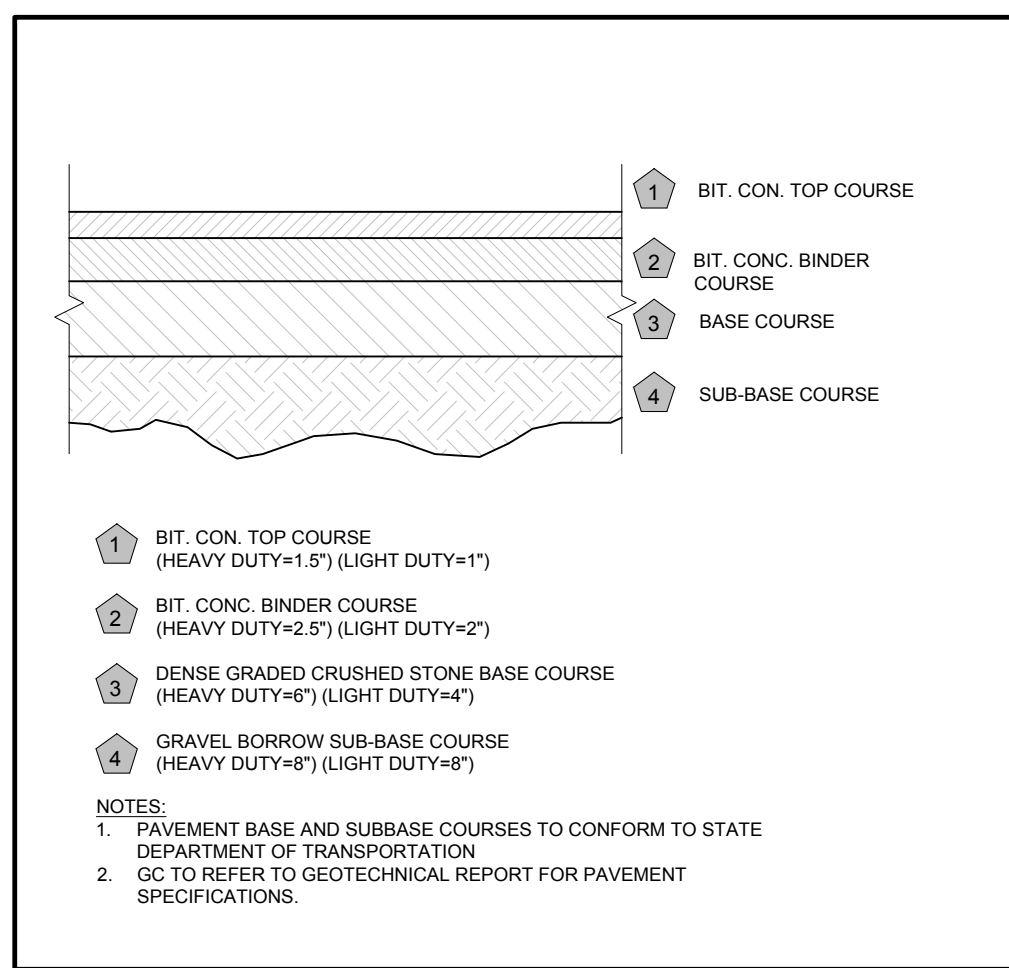
**FSR#05916**  
 BUILDING TYPE / SIZE: P14-LS-BN  
 RELEASE:

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

CONSULTANT PROJECT # MAA240159.00  
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 SHEET SITE DETAILS

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 SHEET NUMBER  
**C-403**





**PAVEMENT SECTION**  
NOT TO SCALE  
(NE-S010101 - 09/2024)

**PRECAST CONCRETE CURB**  
NOT TO SCALE  
(NE-S020201 - 06/2024)

**PRECAST CONCRETE TRANSITION CURB**  
NOT TO SCALE  
(NE-S020206 - 09/2023)

**CONCRETE SIDEWALK**  
NOT TO SCALE  
(NE-S030201 - 09/2023)

**ACCESSIBLE RAMP TYPE B**  
NOT TO SCALE  
(NE-S030205 - 09/2023)

**SIDEWALK ALONG BUILDING**  
NOT TO SCALE  
(NE-S030209 - 09/2023)

**ACCESSIBLE RAMP TYPE B**  
NOT TO SCALE  
(NE-S030205 - 09/2023)

**BOLLARD**  
NOT TO SCALE  
(NE-S070101 - 09/2023)

**SIDEWALK CONSTRUCTION JOINTS**  
NOT TO SCALE  
(BE-S030401 - 08/2023)

**ACCESSIBLE PARKING STALL**  
NOT TO SCALE  
(NE-S050101 - 09/2024)

**SIDEWALK ALONG BUILDING**  
NOT TO SCALE  
(NE-S030209 - 09/2023)

**ACCESSIBLE RAMP TYPE B**  
NOT TO SCALE  
(NE-S030205 - 09/2023)

**BOLLARD**  
NOT TO SCALE  
(NE-S070101 - 09/2023)

**SIDEWALK CONSTRUCTION JOINTS**  
NOT TO SCALE  
(BE-S030401 - 08/2023)

**ACCESSIBLE PARKING STALL**  
NOT TO SCALE  
(NE-S050101 - 09/2024)

**ACCESSIBLE PARKING SYMBOL**  
NOT TO SCALE  
(NE-S050102 - 09/2023)

**SIGN ON BOLLARD**  
NOT TO SCALE  
(NE-S060201 - 09/2023)

**ACCESSIBLE PARKING SIGNS**  
NOT TO SCALE  
(NE-S060101 - 09/2023)

**STOP SIGN**  
NOT TO SCALE  
(NE-S060202 - 09/2023)

**DO NOT ENTER SIGN**  
NOT TO SCALE  
(NE-S060203 - 09/2023)

**STOP BAR**  
NOT TO SCALE  
(NE-S050301 - 09/2024)

**TRAFFIC FLOW ARROW**  
NOT TO SCALE  
(NE-S050302 - 09/2023)

**CROSSWALK LADDER**  
NOT TO SCALE  
(NE-S050401 - 07/2024)

**CONCRETE DRIVE-THRU PAD**  
NOT TO SCALE  
(NE-S010701 - 09/2024)

**BIKE RACK DETAIL**  
NOT TO SCALE  
(NE-S030201 - 09/2023)

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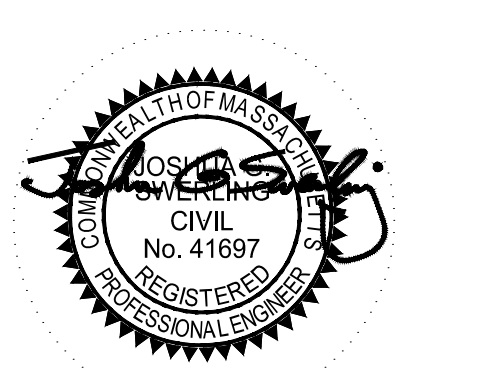
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BUILDING TYPE / SIZE: P14-LS-BN  
RELEASE:

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SHEET CONSTRUCTION DETAILS

SHEET NUMBER  
**C-500**

ISSUED FOR PERMIT

A

B

C

D

D

C

B

A

2

2

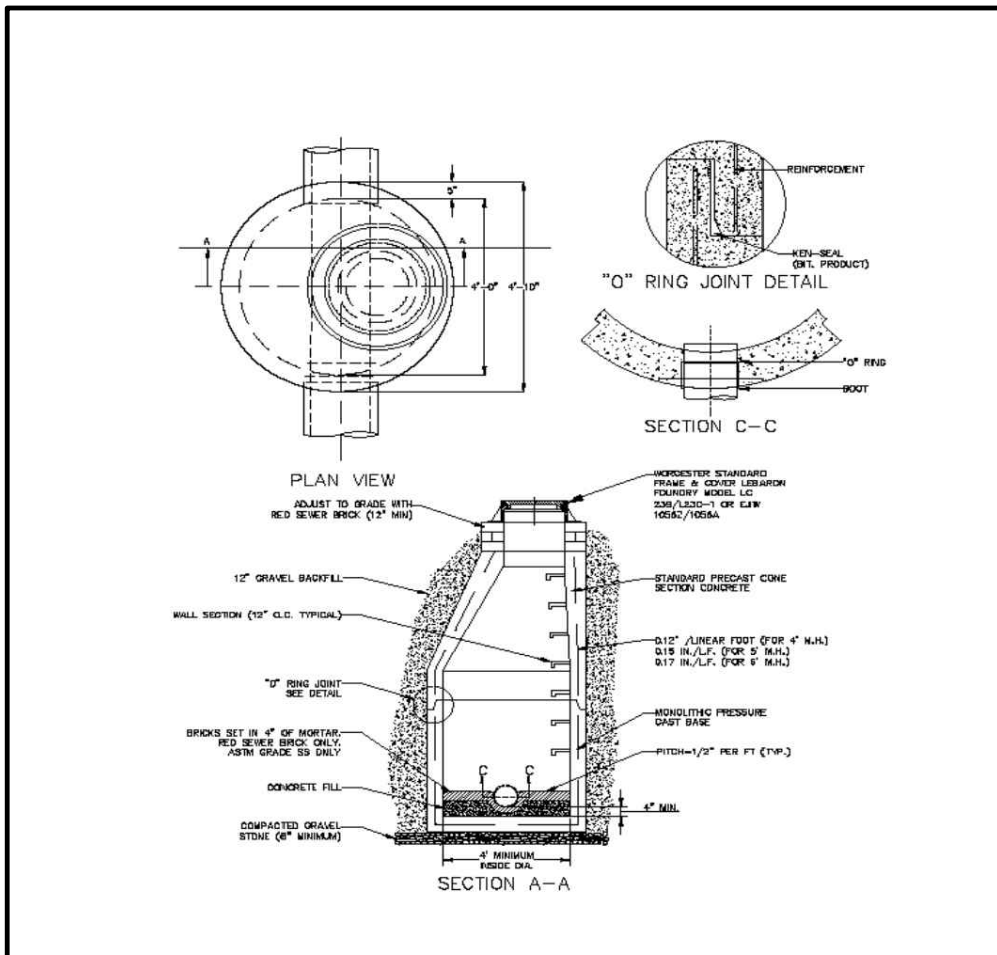
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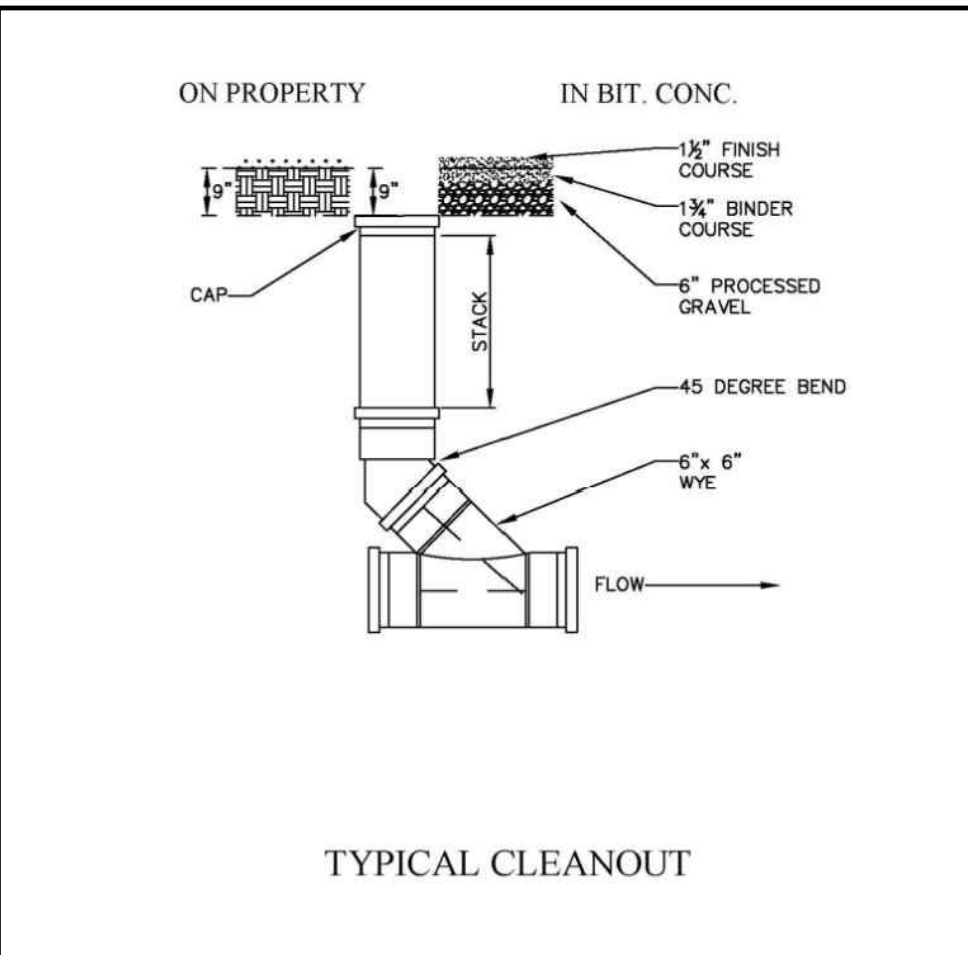
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2

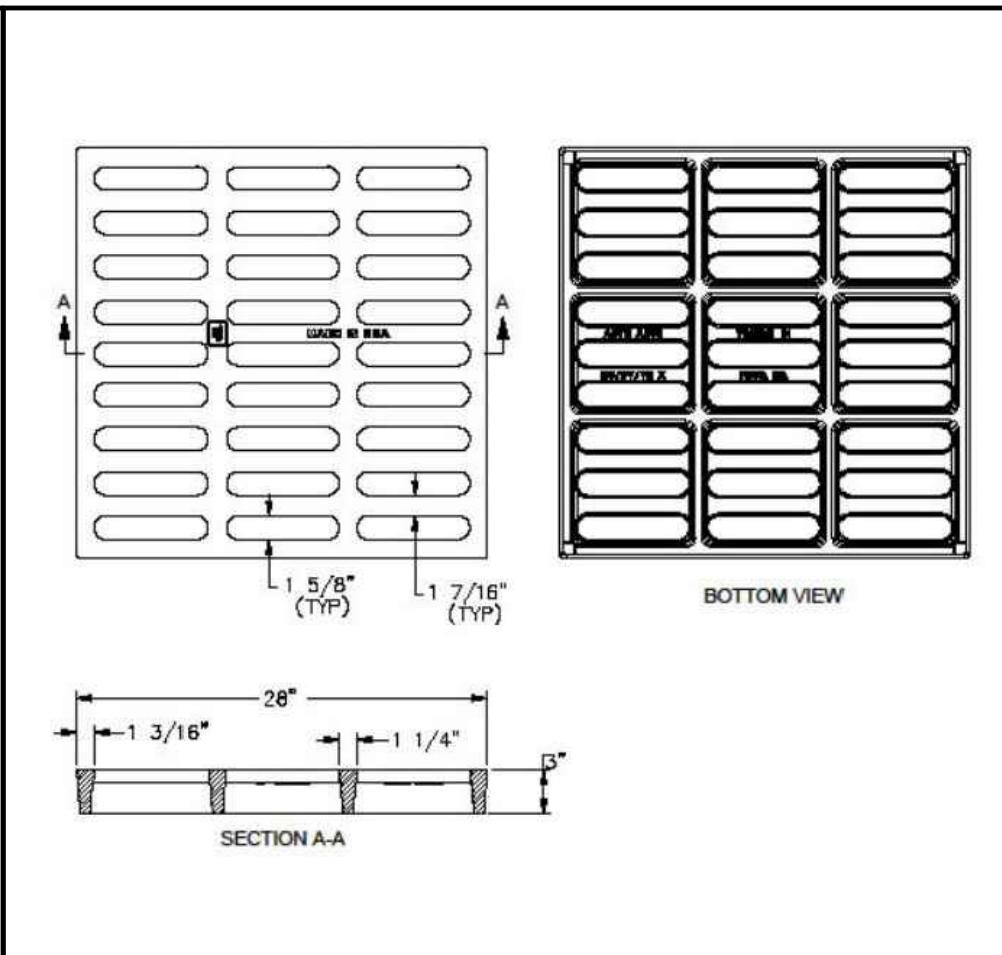
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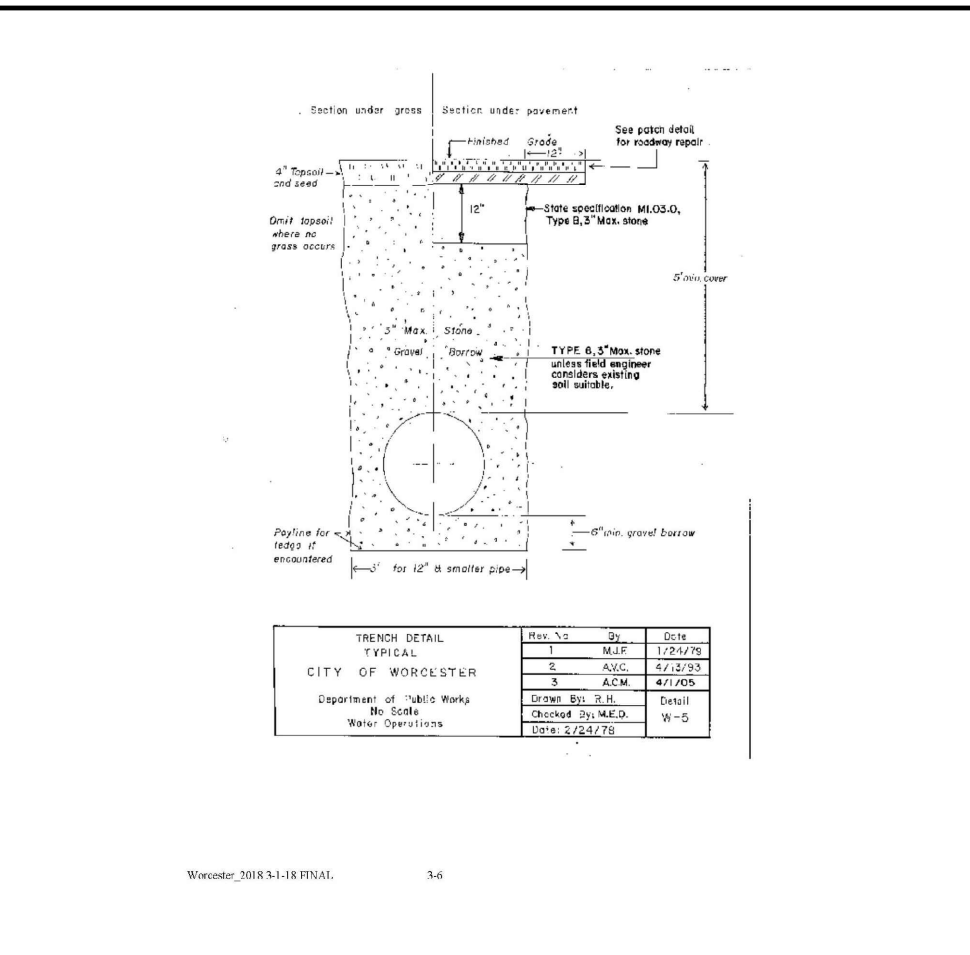
**CITY OF WORCESTER TYPICAL MANHOLE DETAIL**  
NOT TO SCALE



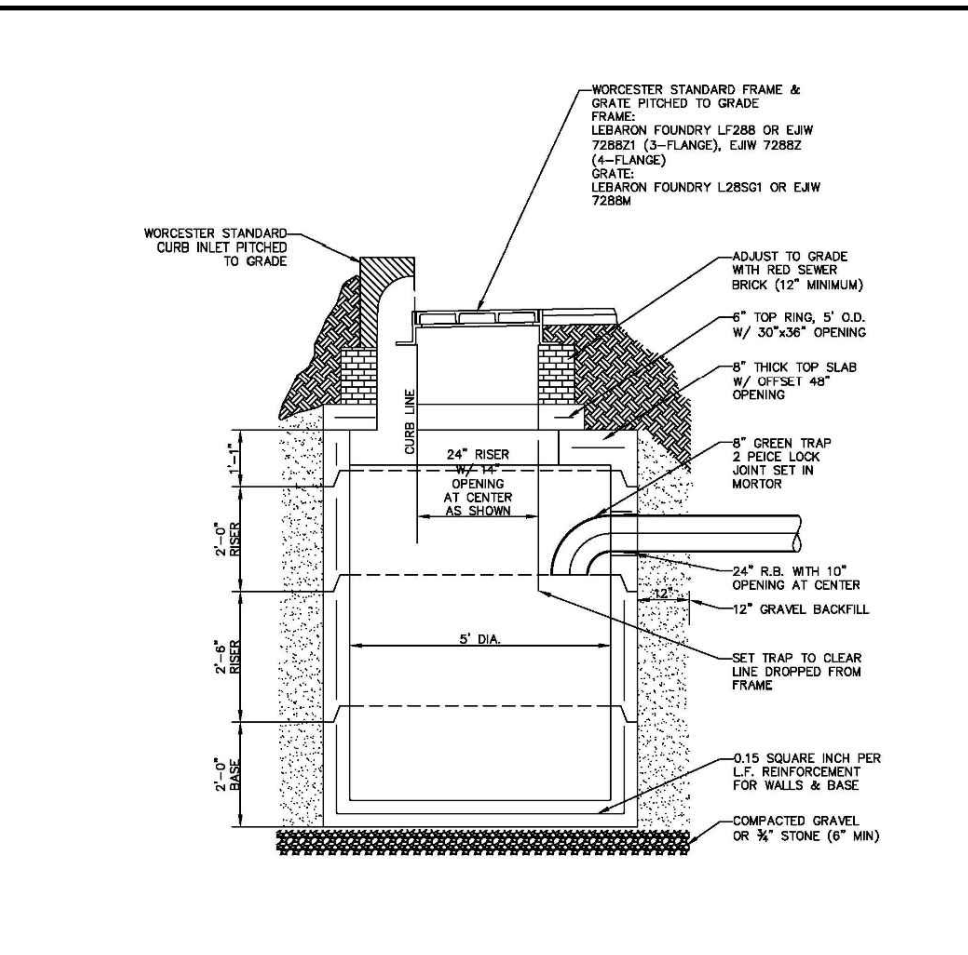
**CITY OF WORCESTER TYPICAL CLEANOUT DETAIL**  
NOT TO SCALE



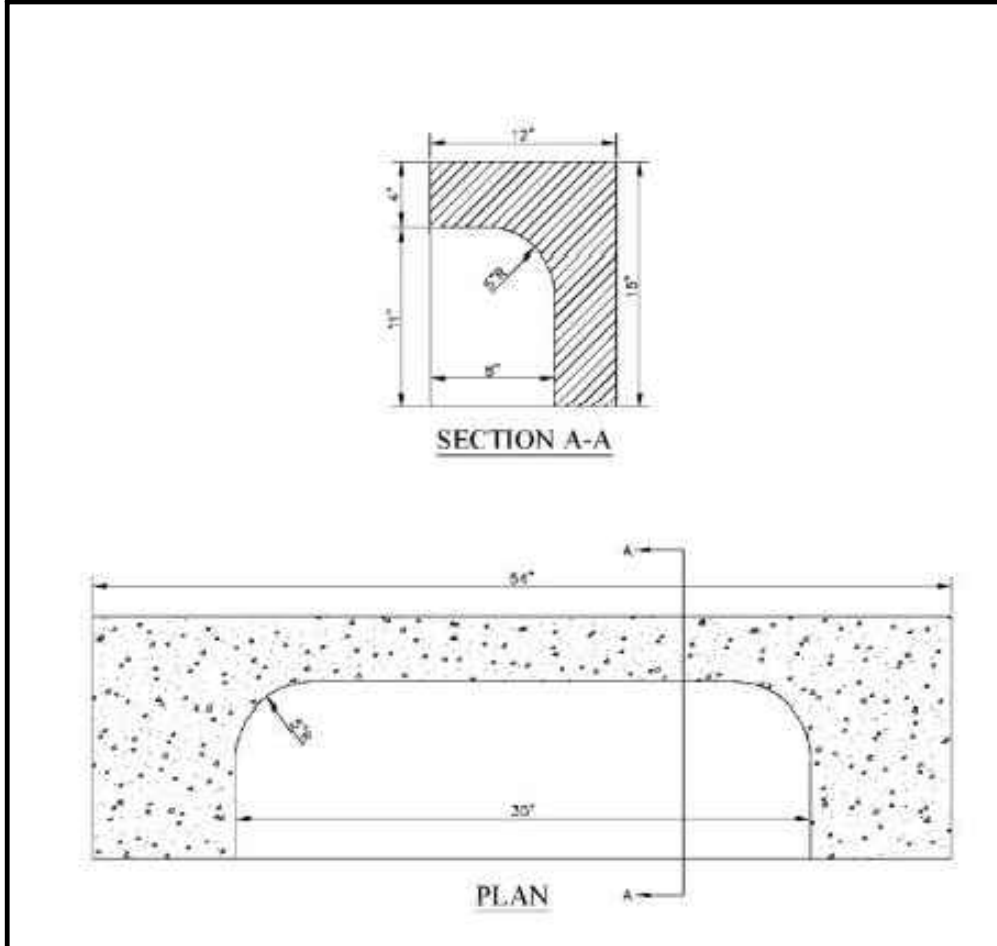
**CITY OF WORCESTER TYPICAL CATCH BASIN GRATE DETAIL**  
NOT TO SCALE



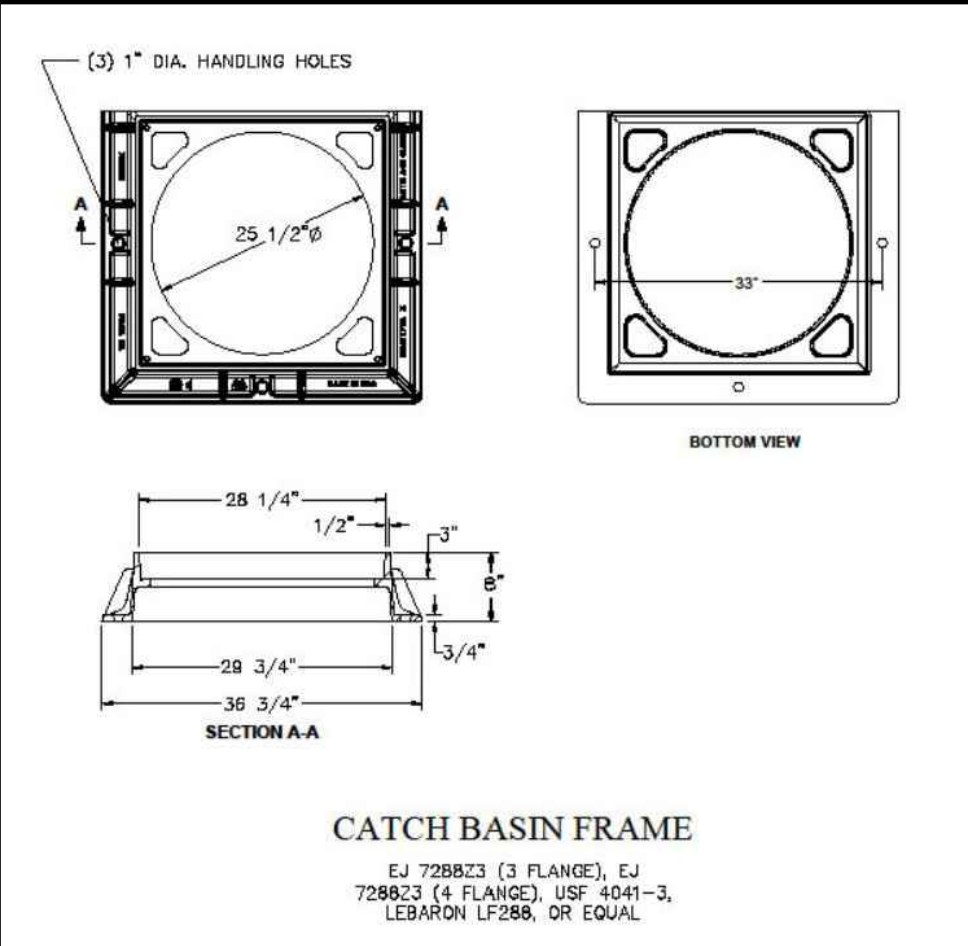
**CITY OF WORCESTER TYPICAL TRENCH DETAIL**  
NOT TO SCALE



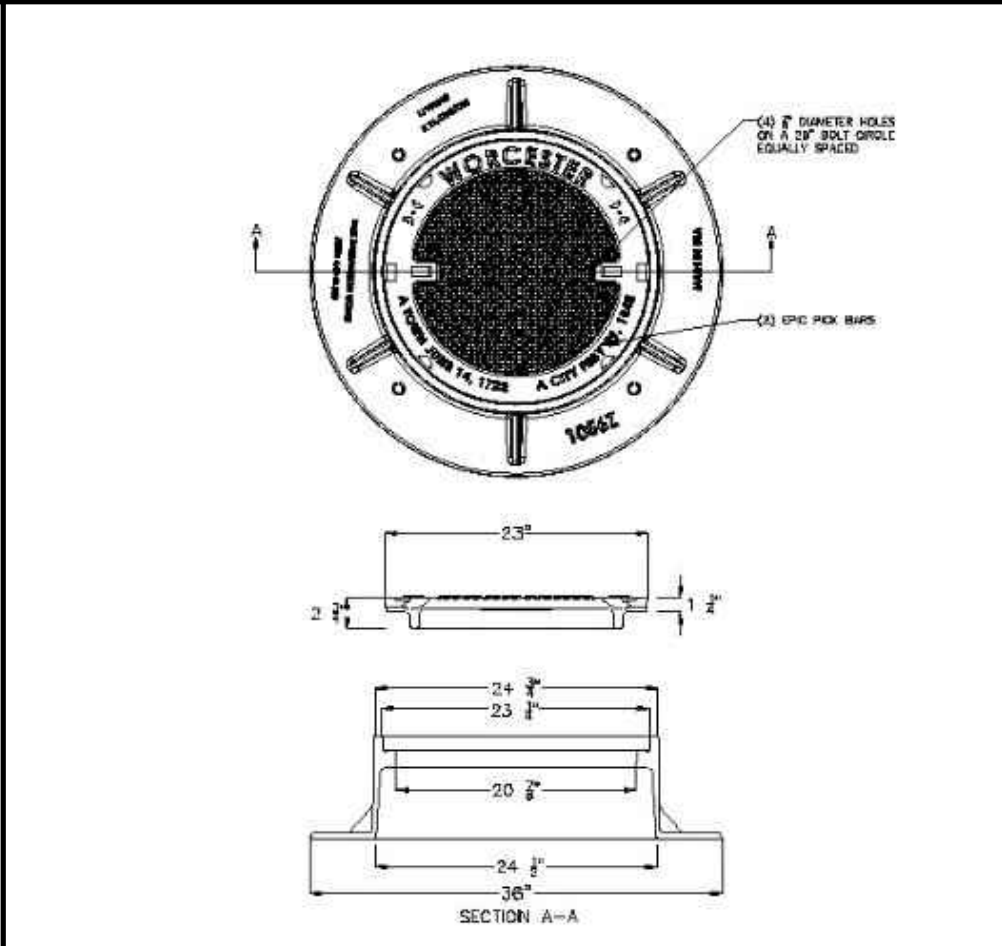
**CITY OF WORCESTER TYPICAL CATCH BASIN DETAIL**  
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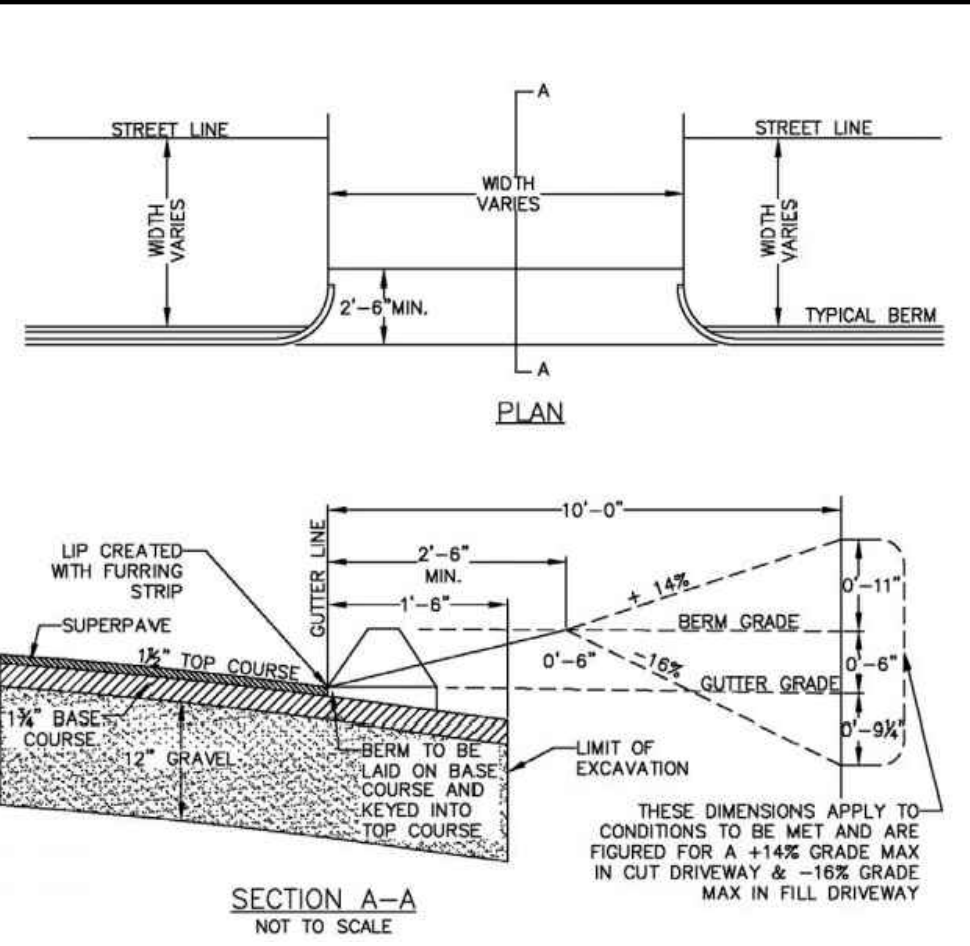
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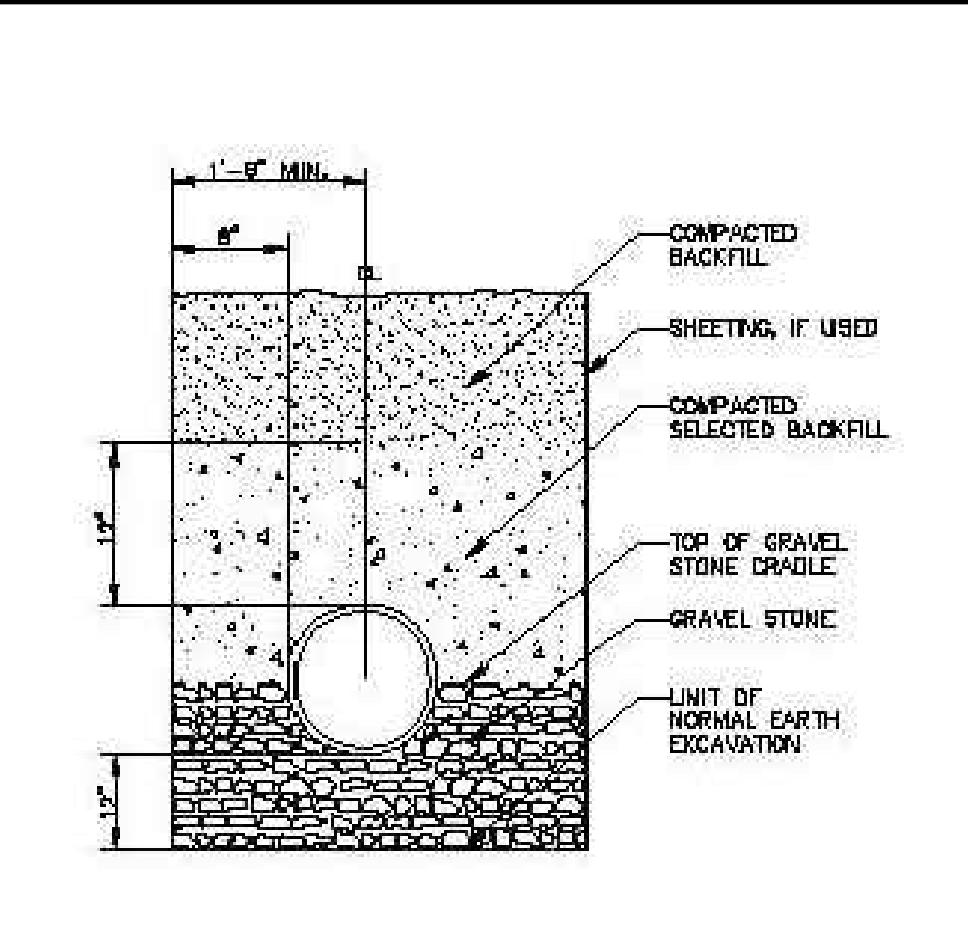
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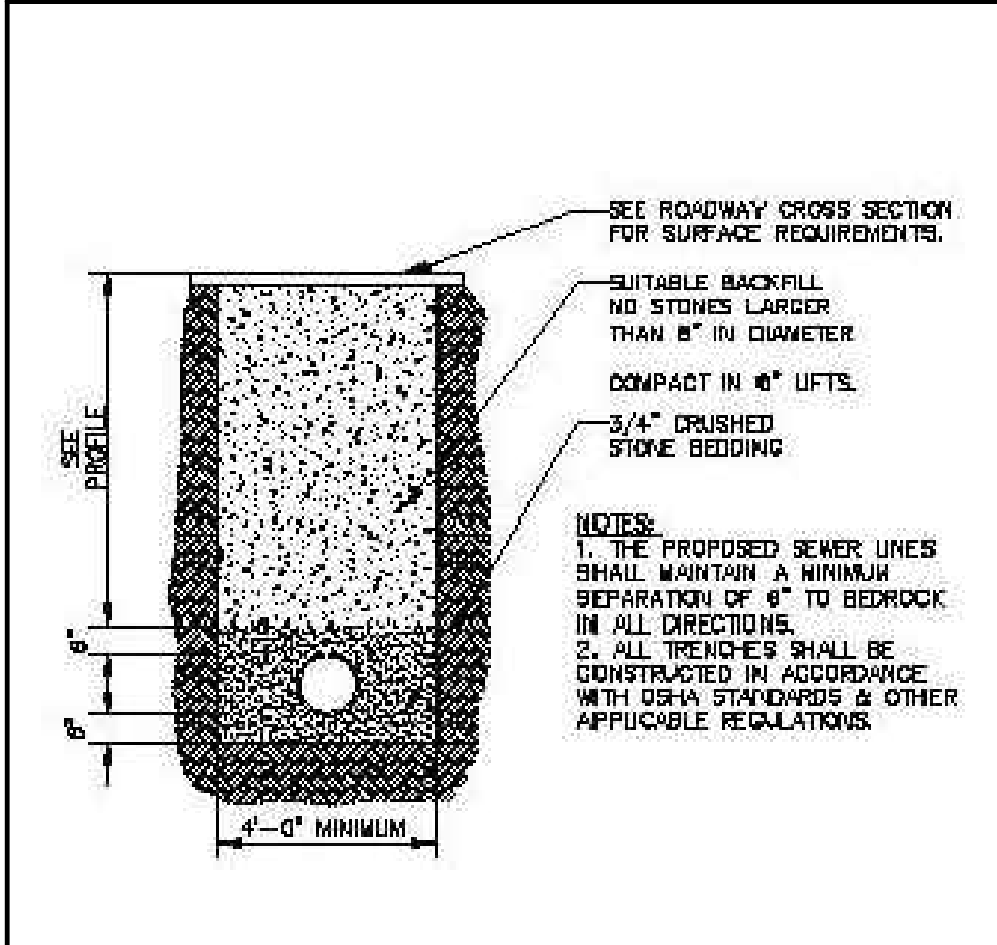
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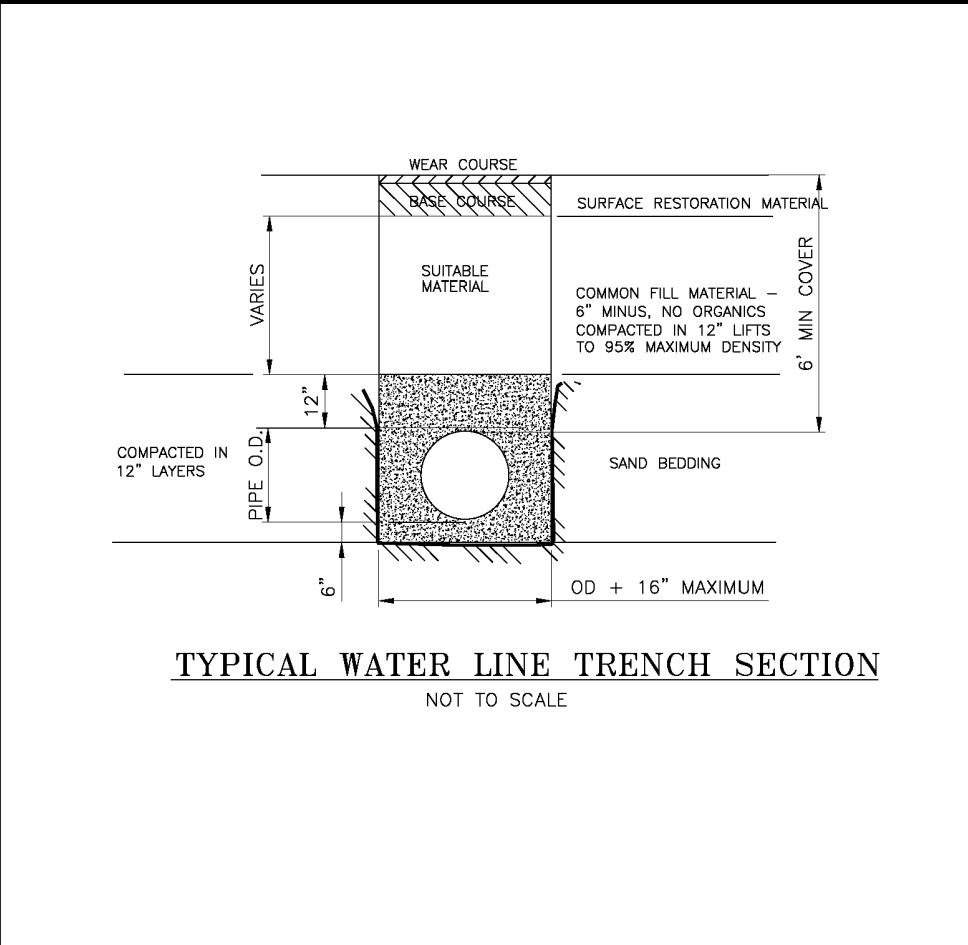
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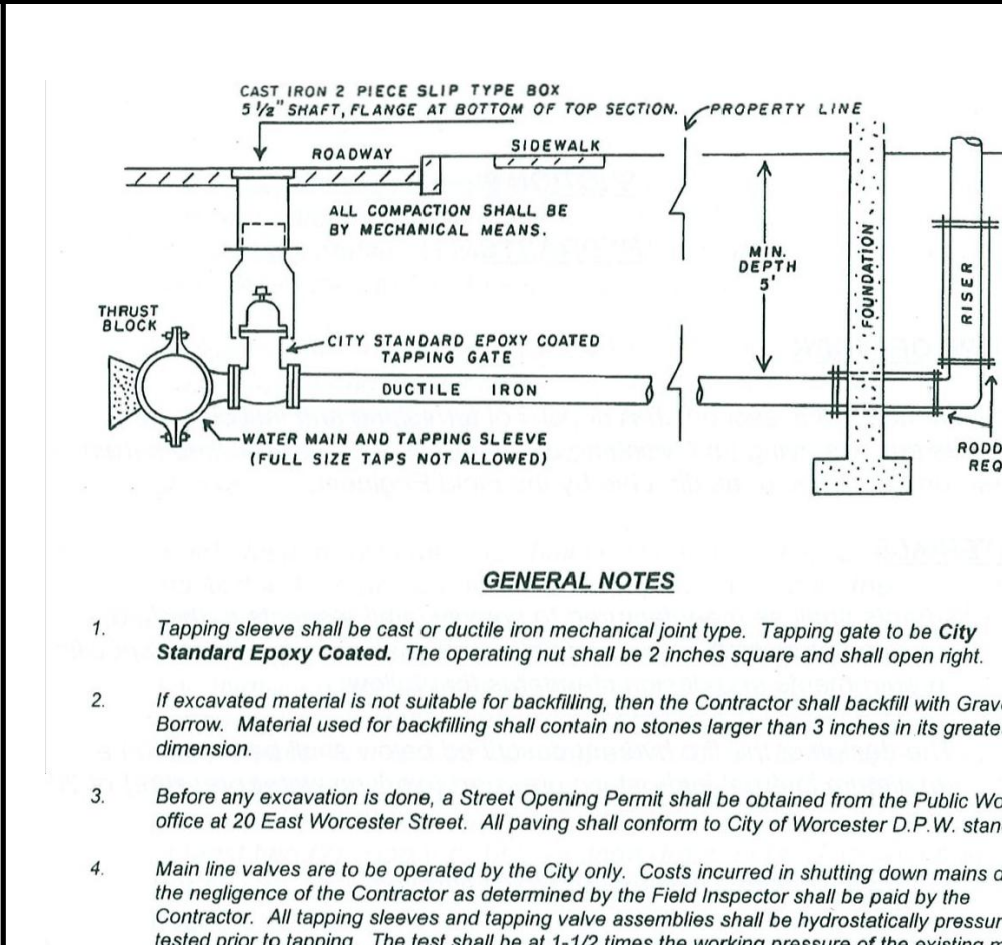
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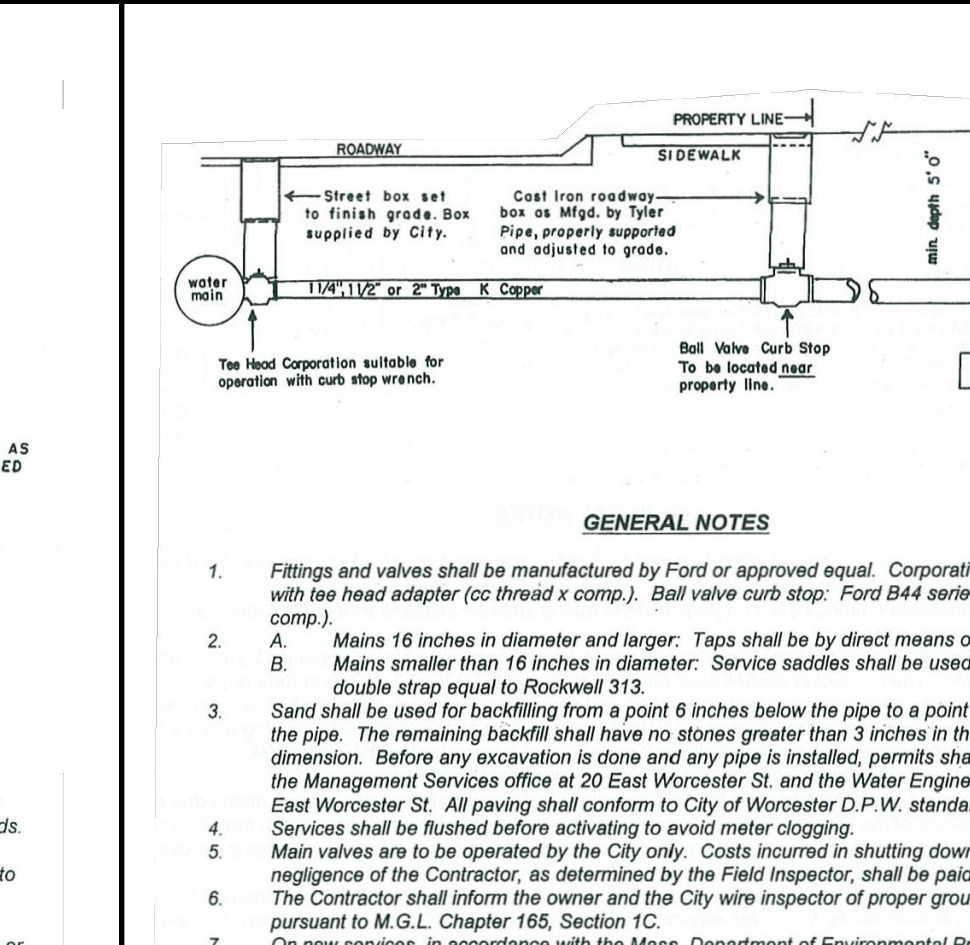
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**CITY OF WORCESTER TYPICAL WATER LINE TRENCH SECTION**  
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**CITY OF WORCESTER TYPICAL WATER SERVICE DETAIL**  
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**CITY OF WORCESTER TYPICAL WATER SERVICE DETAIL**  
NOT TO SCALE

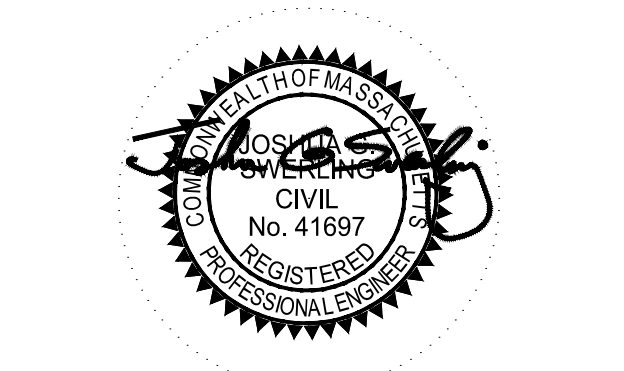
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SHEET NUMBER  
**C-501**